

SLOANE RESIDENCE



ARTISTIC RENDERING - NOT FOR CONSTRUCTION PURPOSES



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EXISTING FLOOR AREA CALCULATIONS

BASEMENT FLOOR =	1135 SF
FIRST FLOOR =	2052 SF
SECOND FLOOR =	1231 SF
THIRD FLOOR =	1014 SF
TOTAL =	5438 SF

PROPOSED FLOOR AREA CALCULATIONS

BASEMENT FLOOR =	0 SF **
FIRST FLOOR =	2159 SF
SECOND FLOOR =	2021 SF
THIRD FLOOR =	1041 SF
TOTAL =	6021 SF

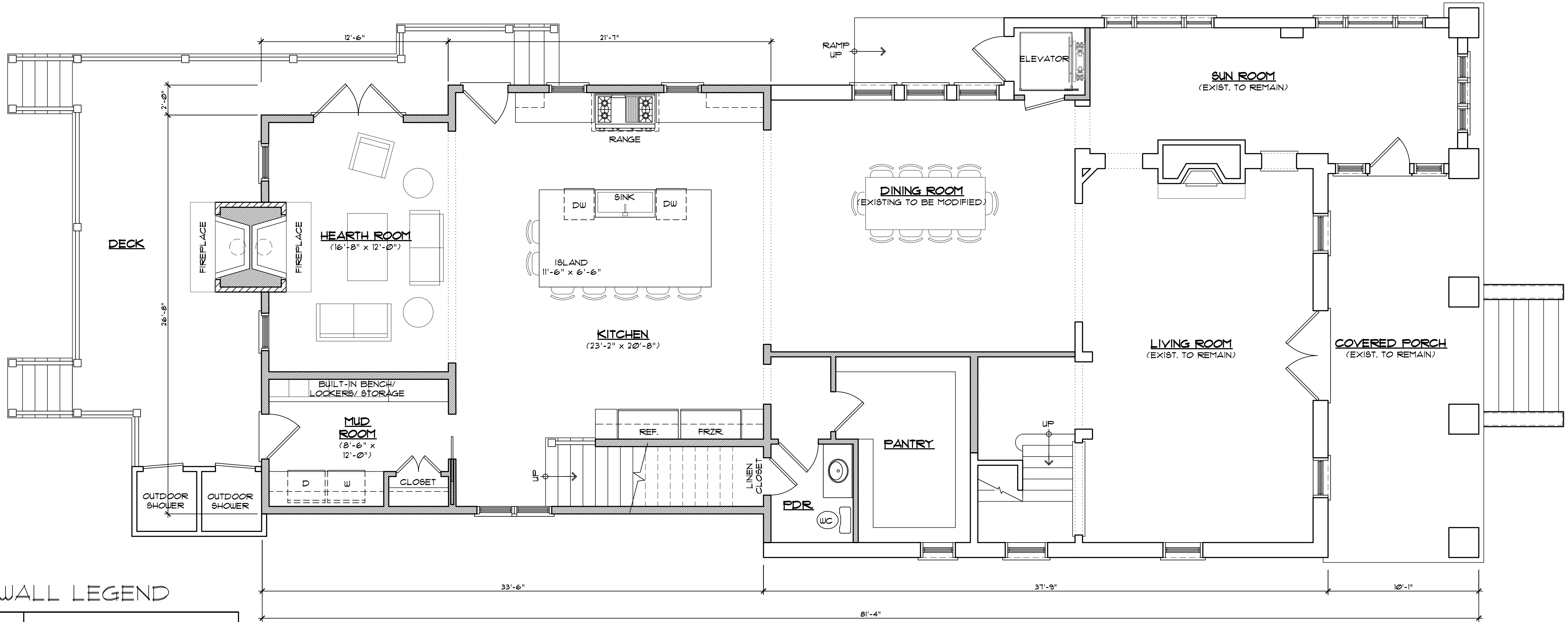
** NOTE:
EXISTING BASEMENT TO BE ABANDONED
FOR FLOOD HAZARD AREA COMPLIANCE

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



WALL LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING FLOOR AREA CALCULATIONS

BASEMENT FLOOR =	1135 SF
FIRST FLOOR =	2052 SF
SECOND FLOOR =	1237 SF
THIRD FLOOR =	1014 SF
TOTAL =	5438 SF

PROPOSED FLOOR AREA CALCULATIONS

BASEMENT FLOOR =	0 SF **
FIRST FLOOR =	2159 SF
SECOND FLOOR =	2021 SF
THIRD FLOOR =	1841 SF
TOTAL =	6021 SF

** NOTE:
EXISTING BASEMENT TO BE ABANDONED
FOR FLOOD HAZARD AREA COMPLIANCE

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN

SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL

PROPOSED SECOND FLOOR PLAN

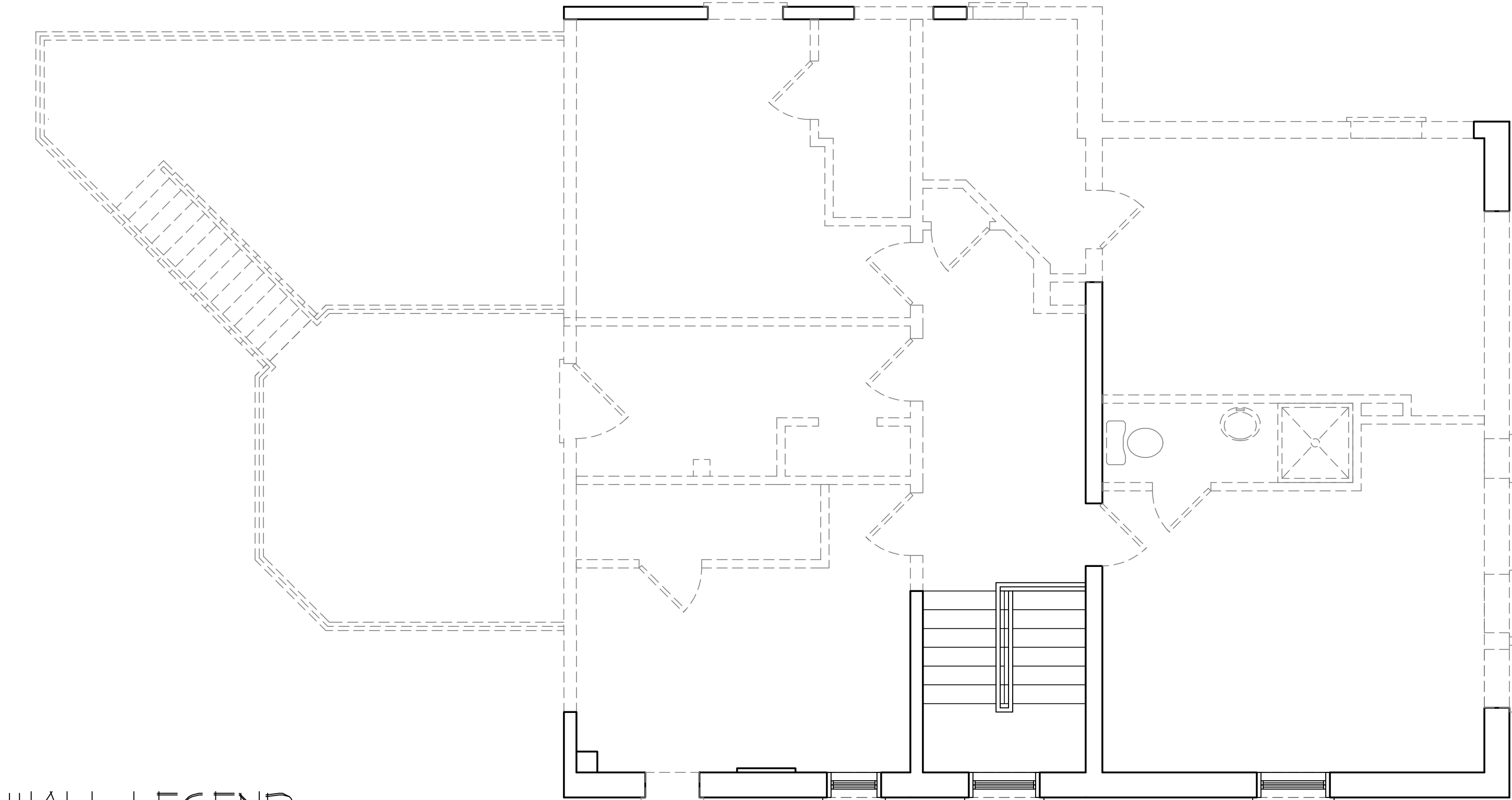
SCALE: 1/4" = 1'-0"



EXISTING FLOOR AREA CALCULATIONS	
BASEMENT FLOOR =	1135 SF
FIRST FLOOR =	2052 SF
SECOND FLOOR =	1237 SF
THIRD FLOOR =	1014 SF
TOTAL =	5438 SF

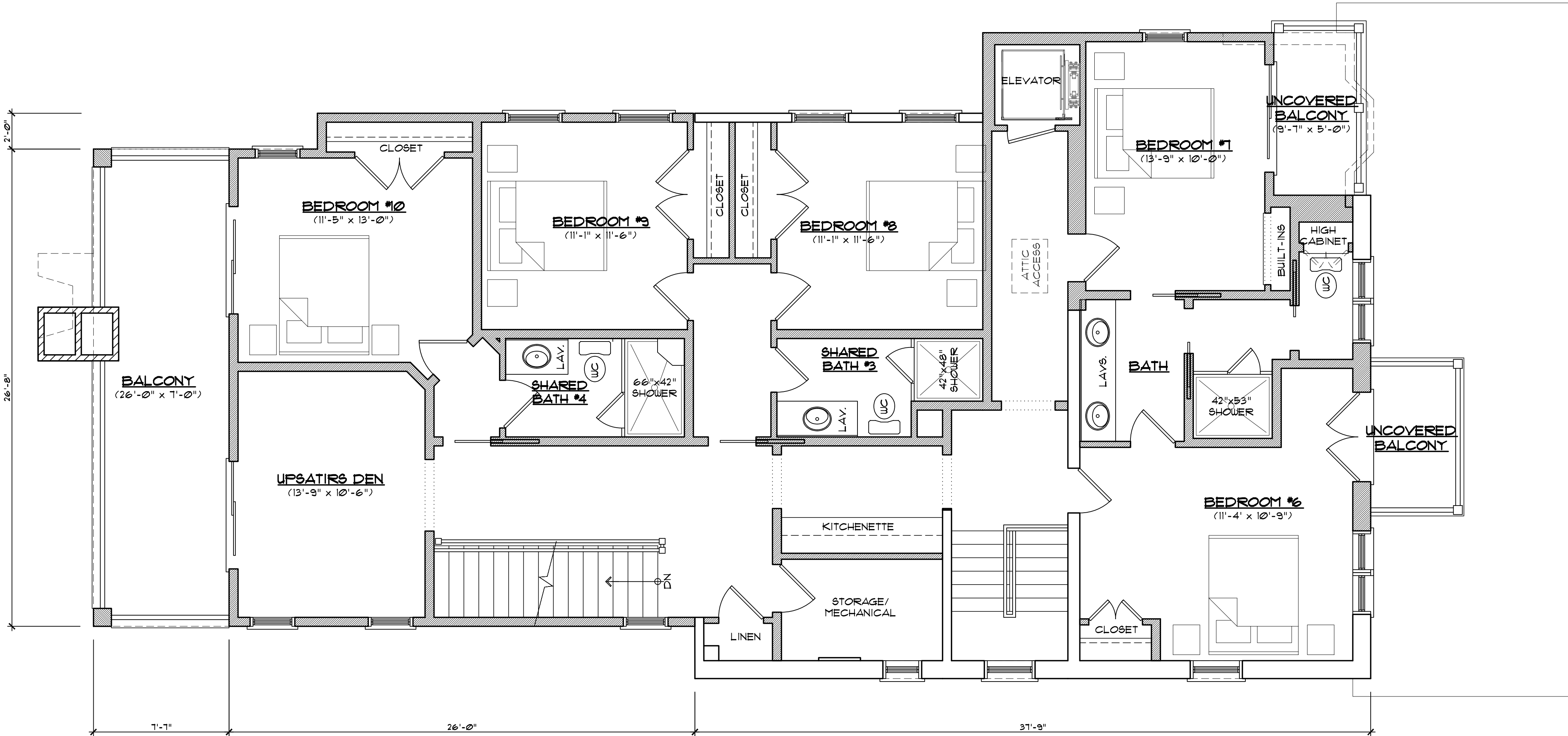
PROPOSED FLOOR AREA CALCULATIONS	
BASEMENT FLOOR =	0 SF **
FIRST FLOOR =	2159 SF
SECOND FLOOR =	2021 SF
THIRD FLOOR =	1841 SF
TOTAL =	6021 SF

** NOTE:
EXISTING BASEMENT TO BE ABANDONED
FOR FLOOD HAZARD AREA COMPLIANCE



WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN

THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL

PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



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ADDITION & RENOVATION
SLOANE RESIDENCE
204 FIFTH AVE. BELMAR, NJ
LOT: 15 BLOCK: 41

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PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



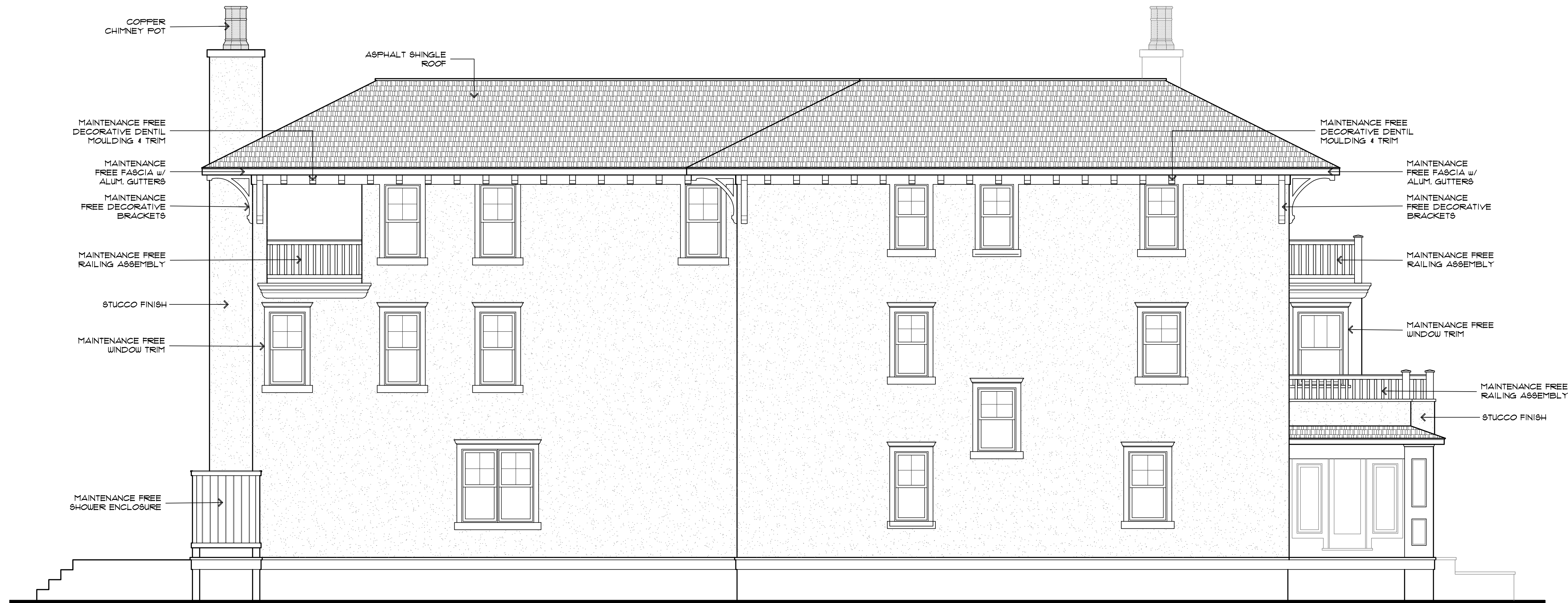
PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



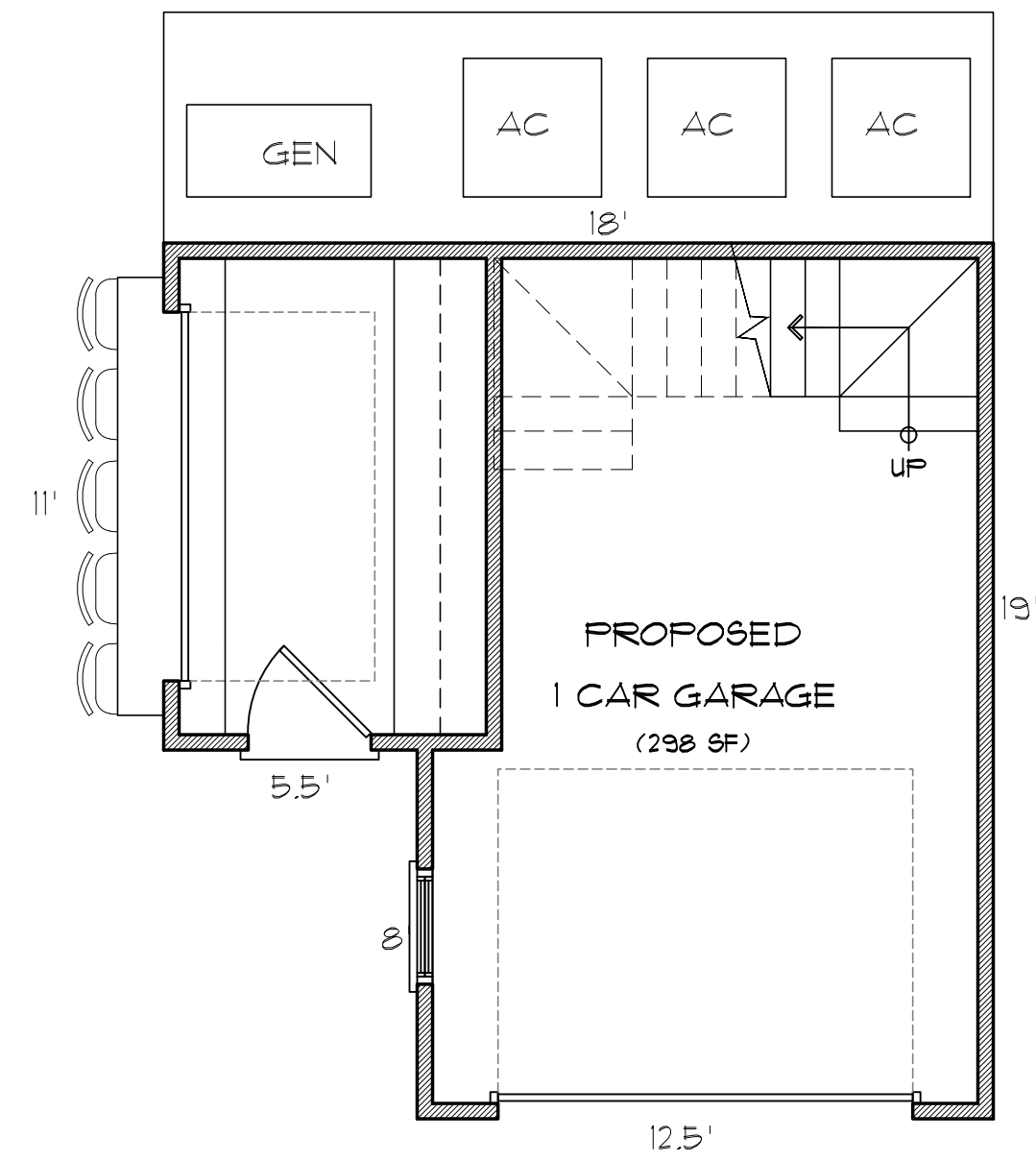
PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

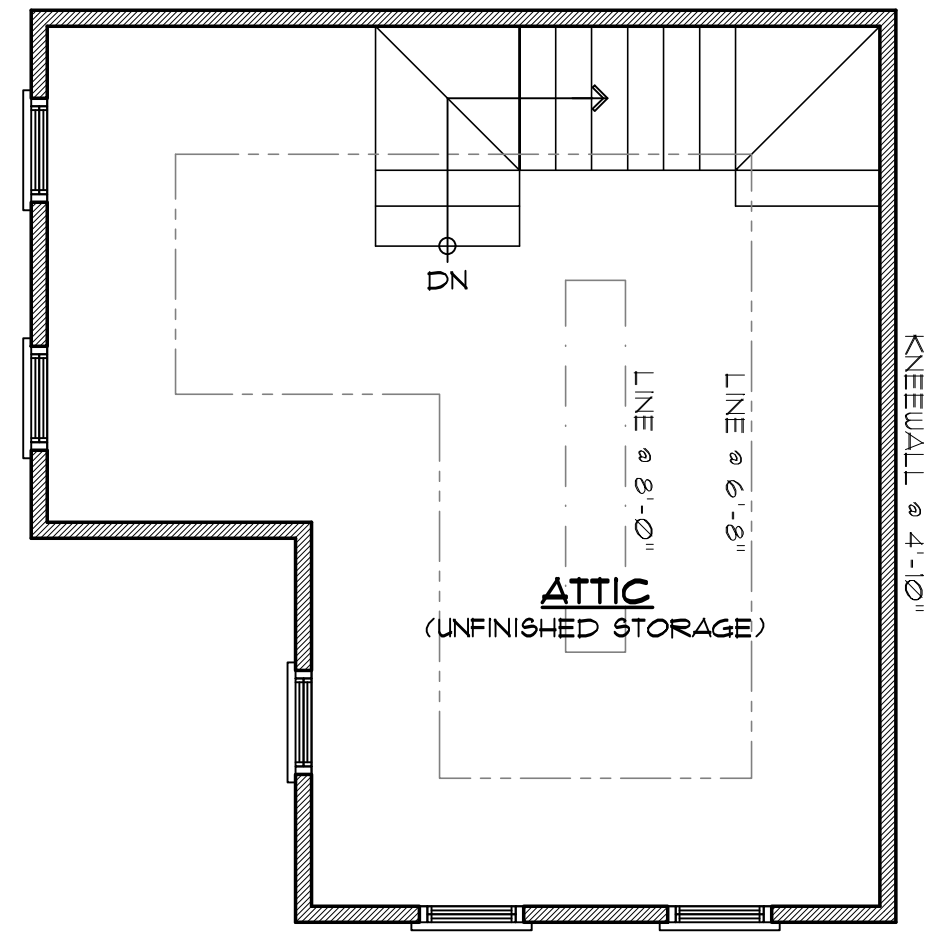


PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



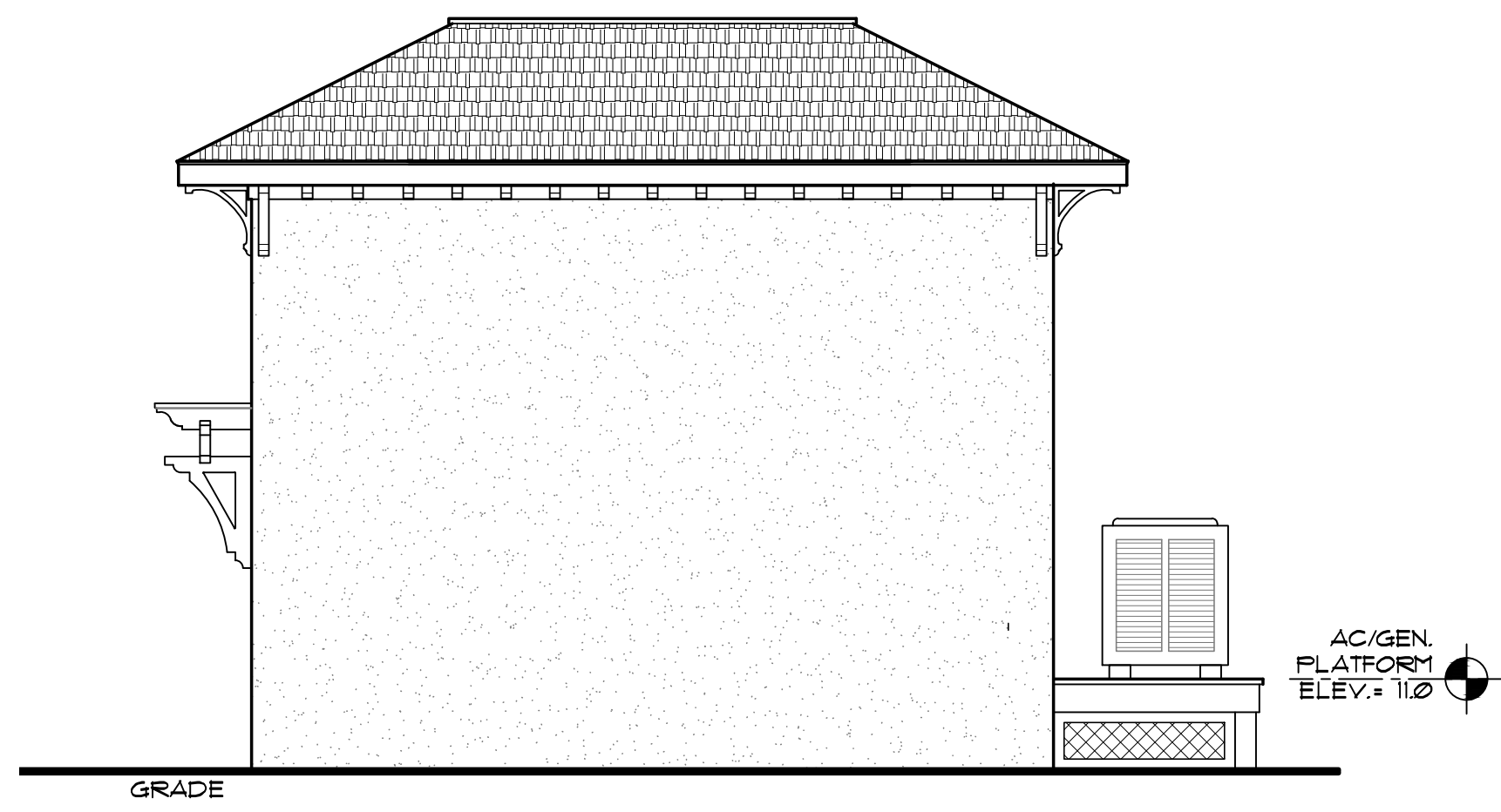
PROPOSED GARAGE PLAN
SCALE: 1/4" = 1'-0"



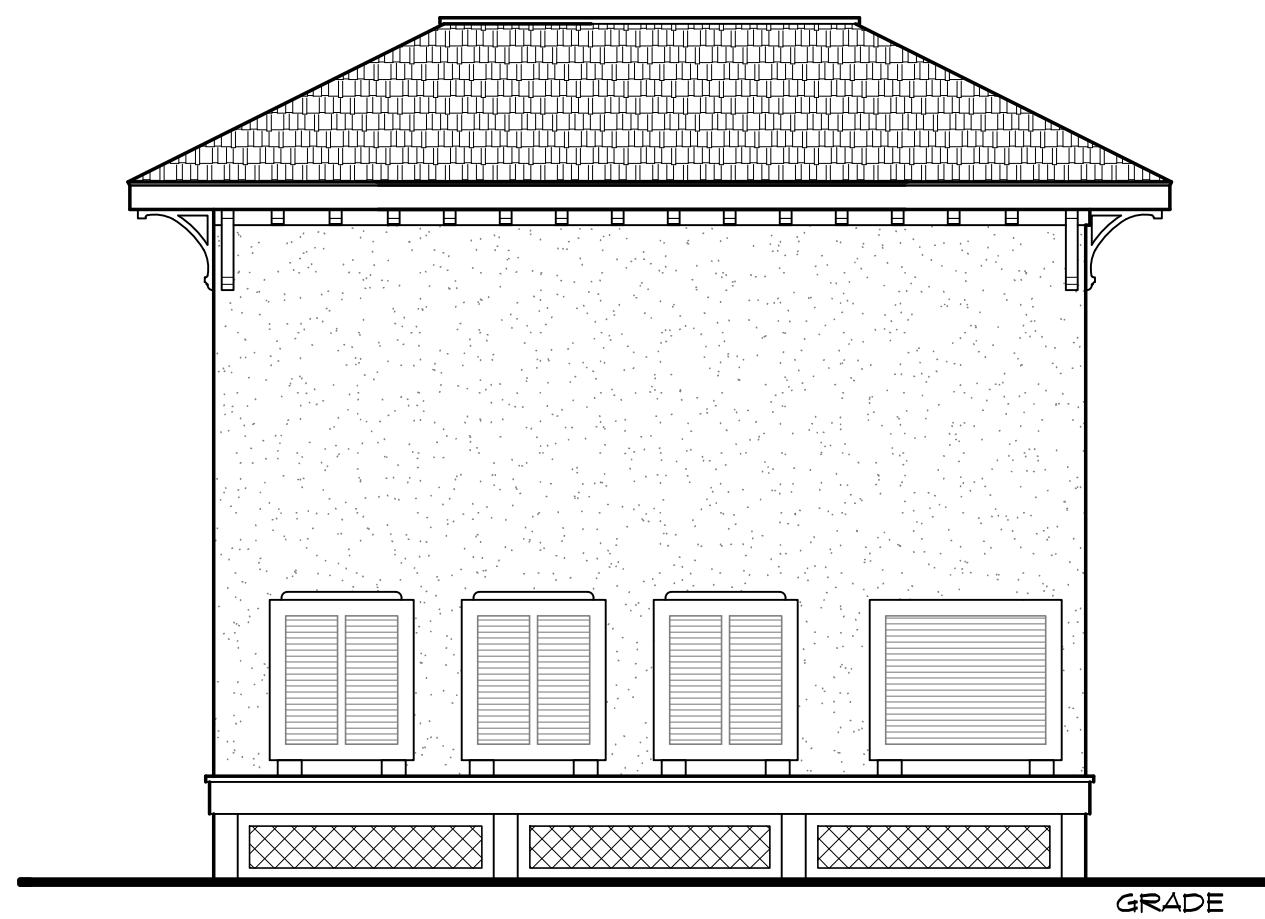
PROPOSED GARAGE ATTIC PLAN
SCALE: 1/4" = 1'-0"



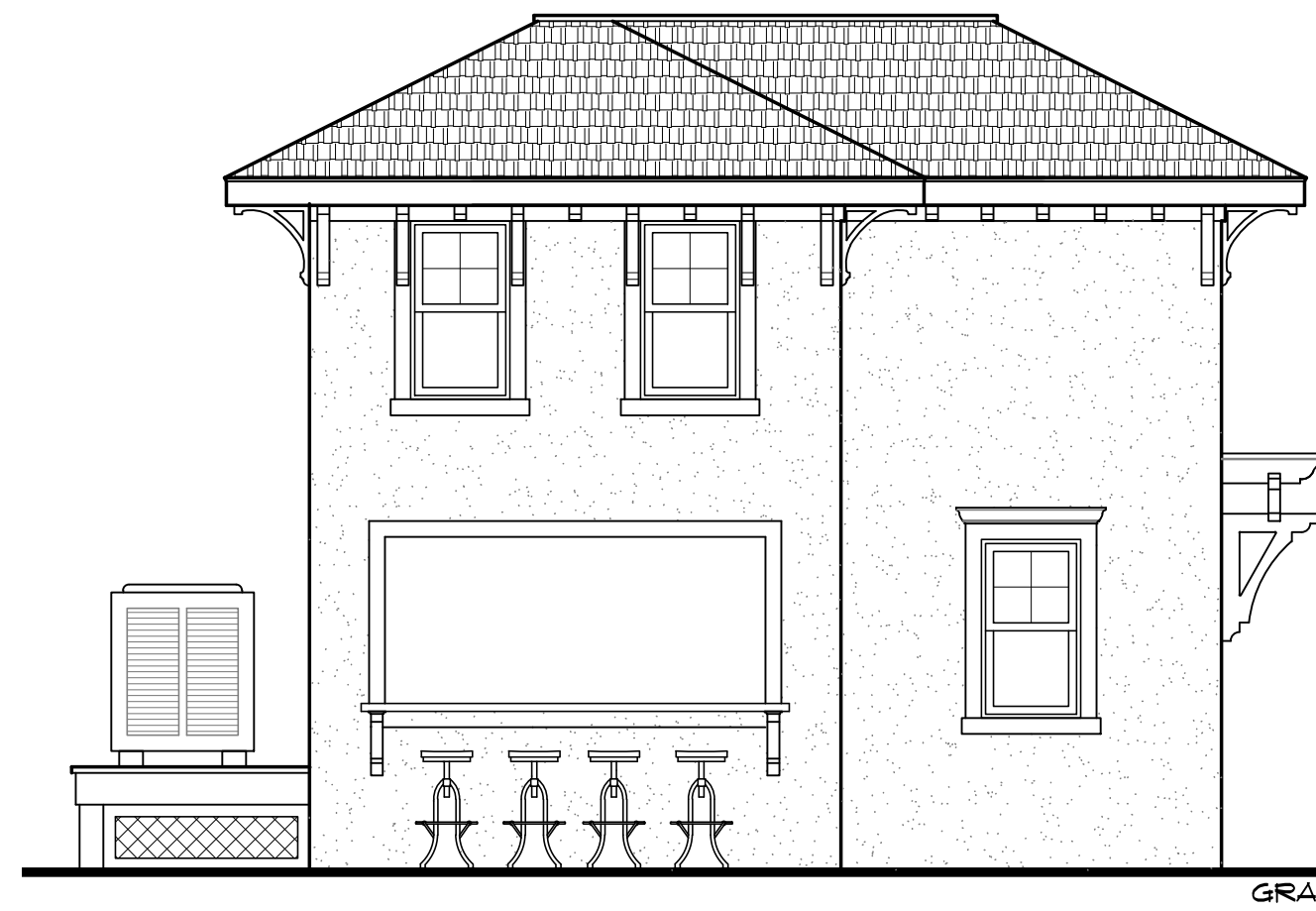
GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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