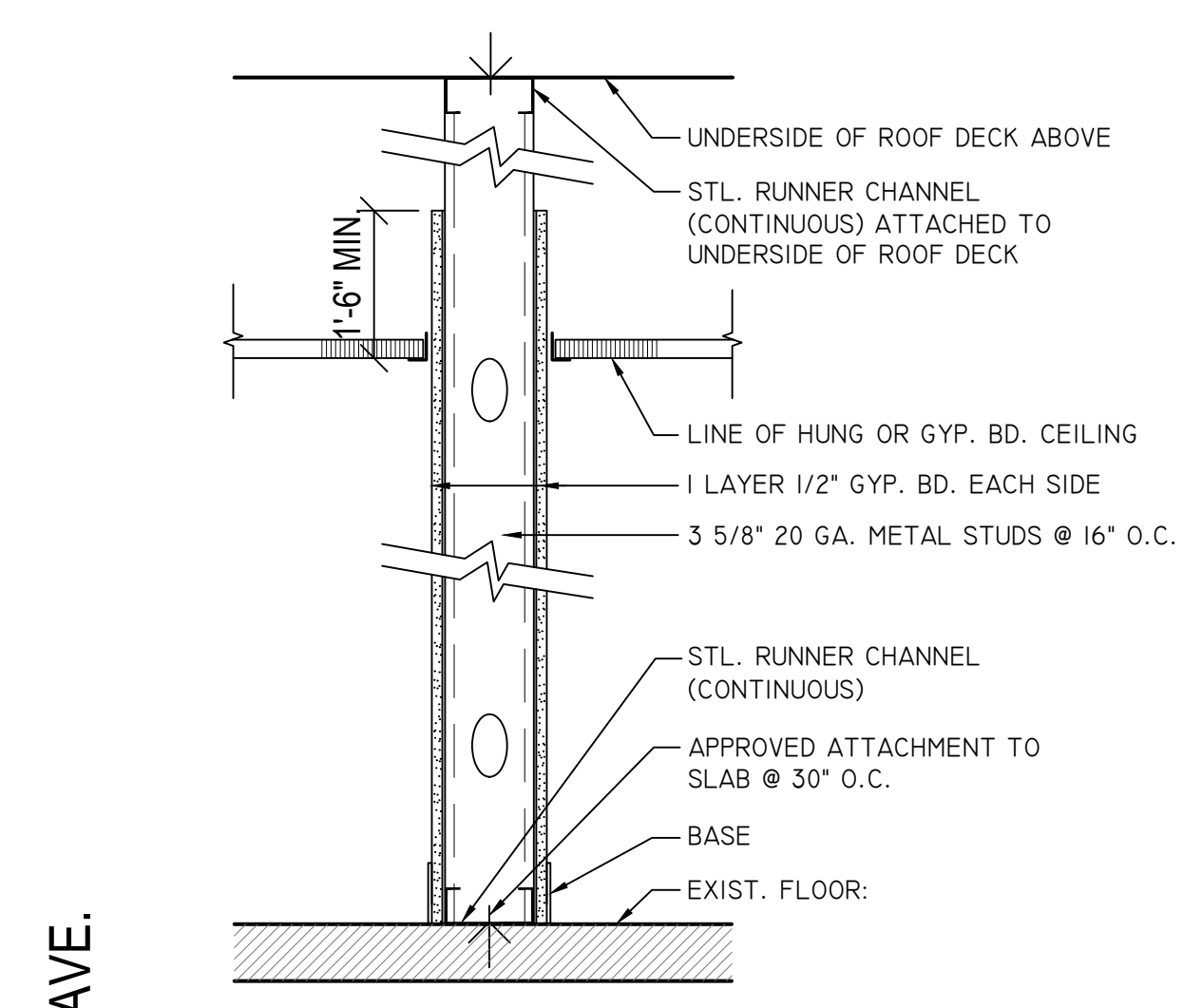
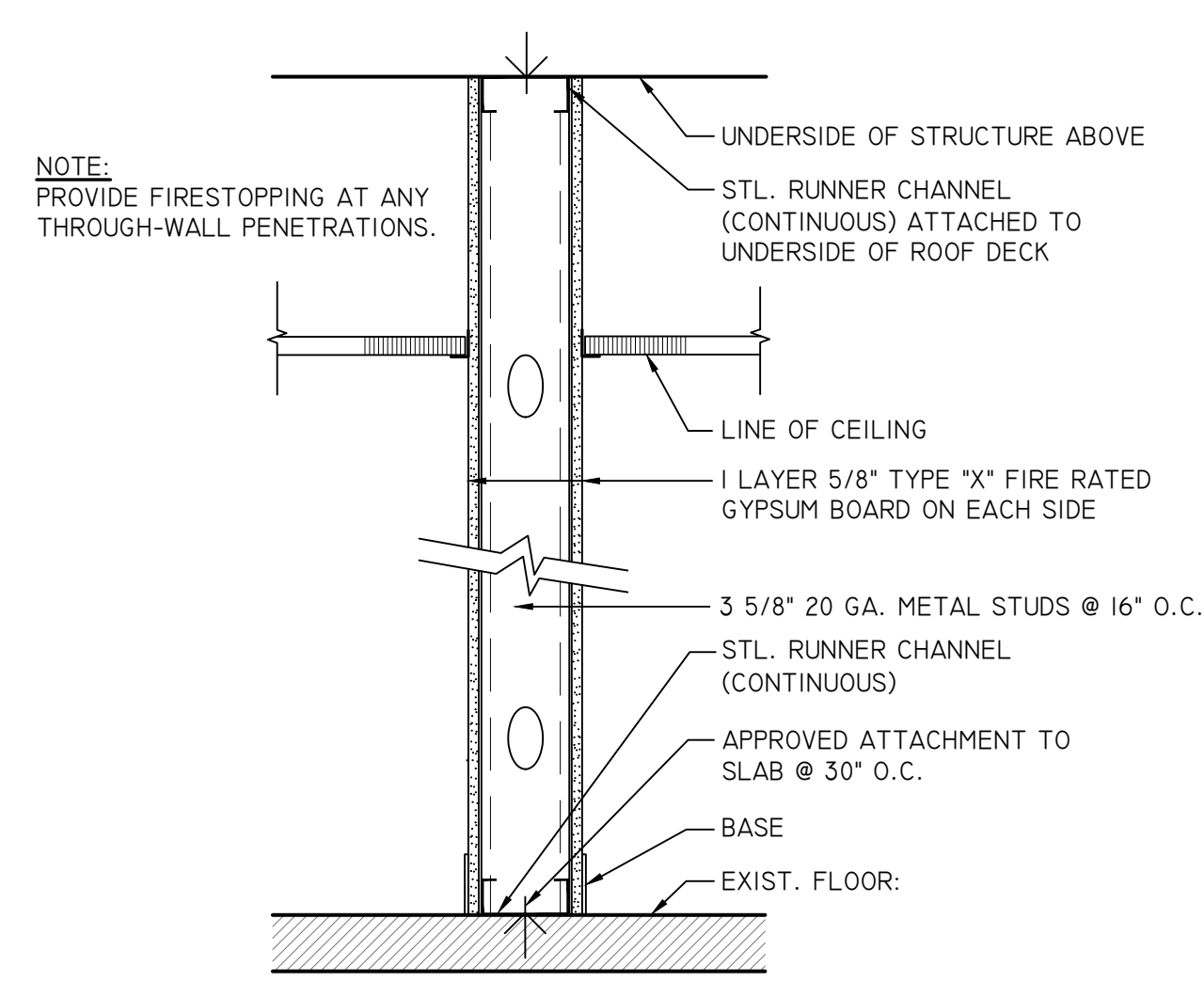


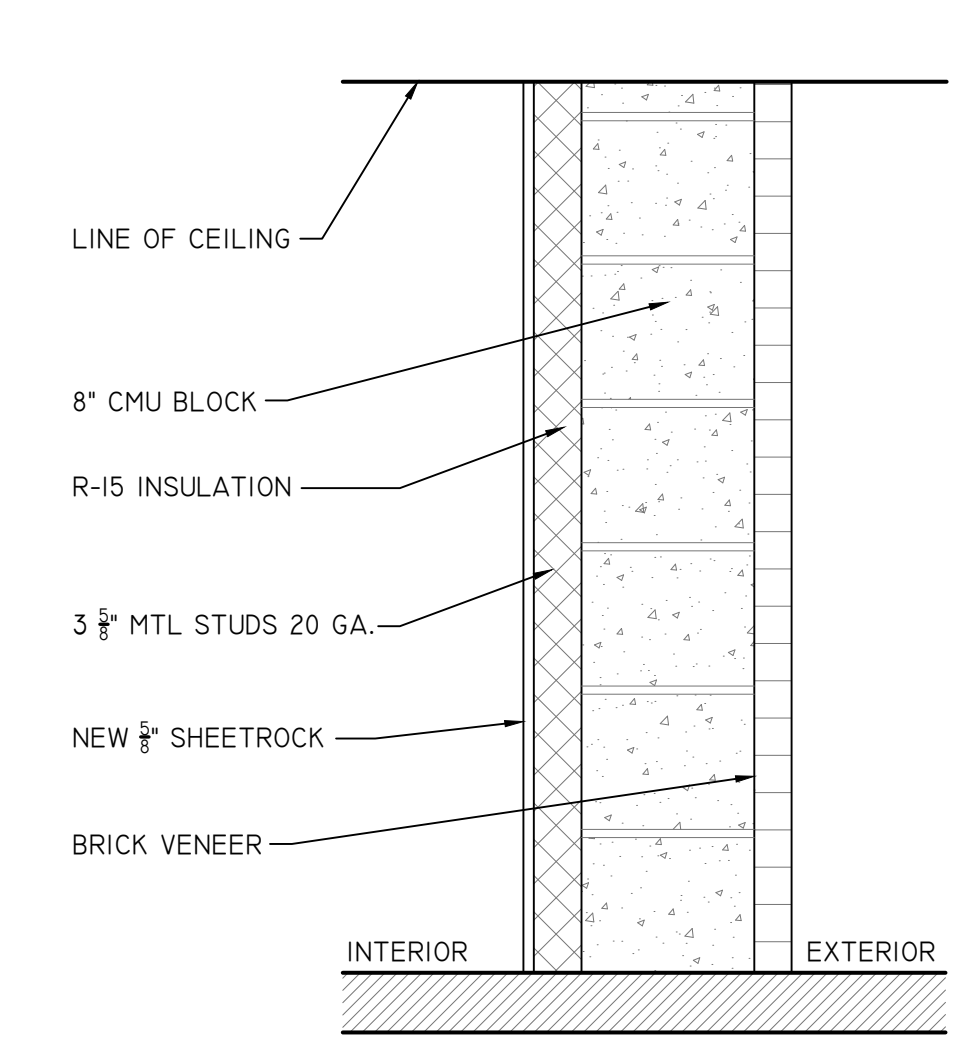
**SITE PLAN**  
SCALE: 1/16" = 1'-0"



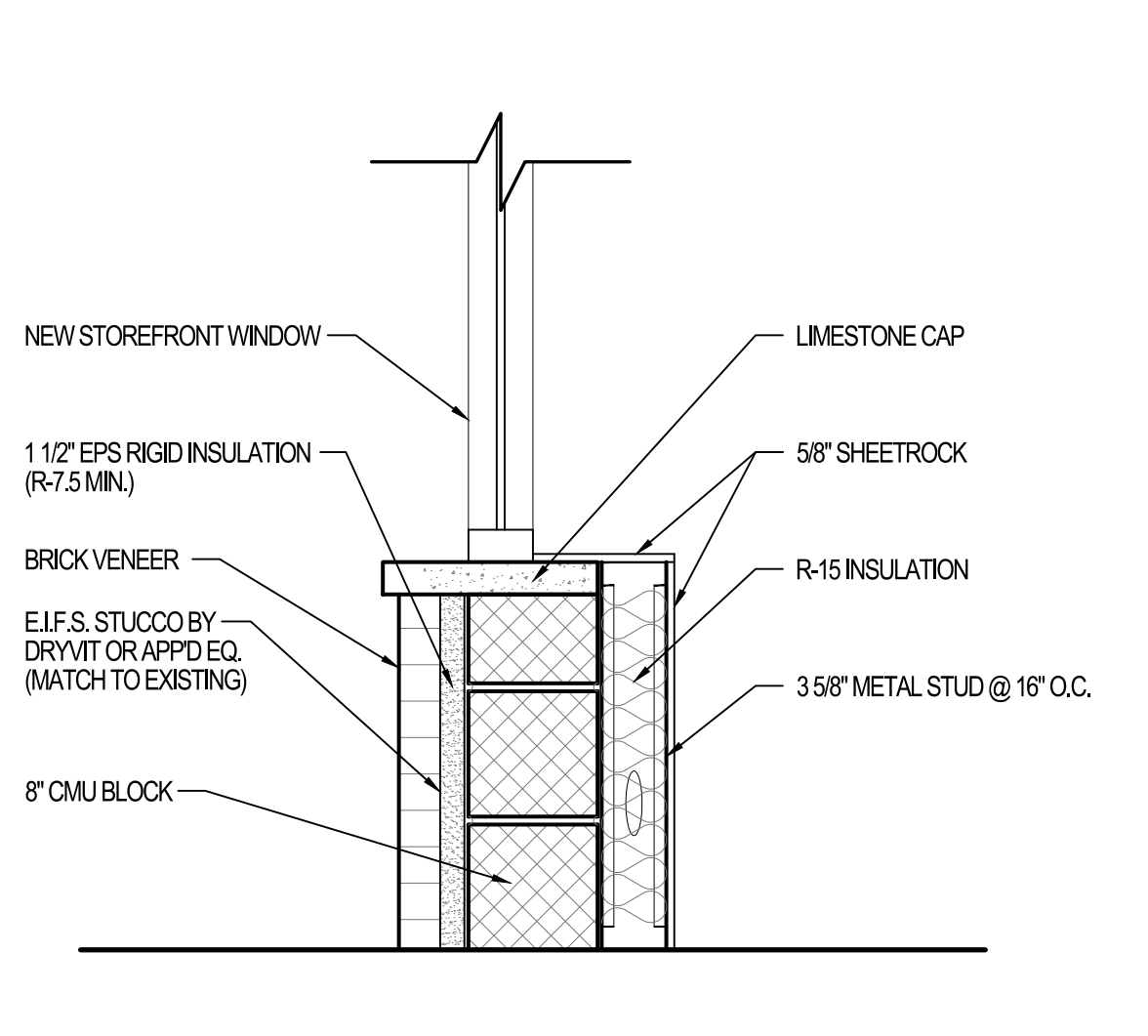
**TYP. 4" WALL DETAIL**  
NTS



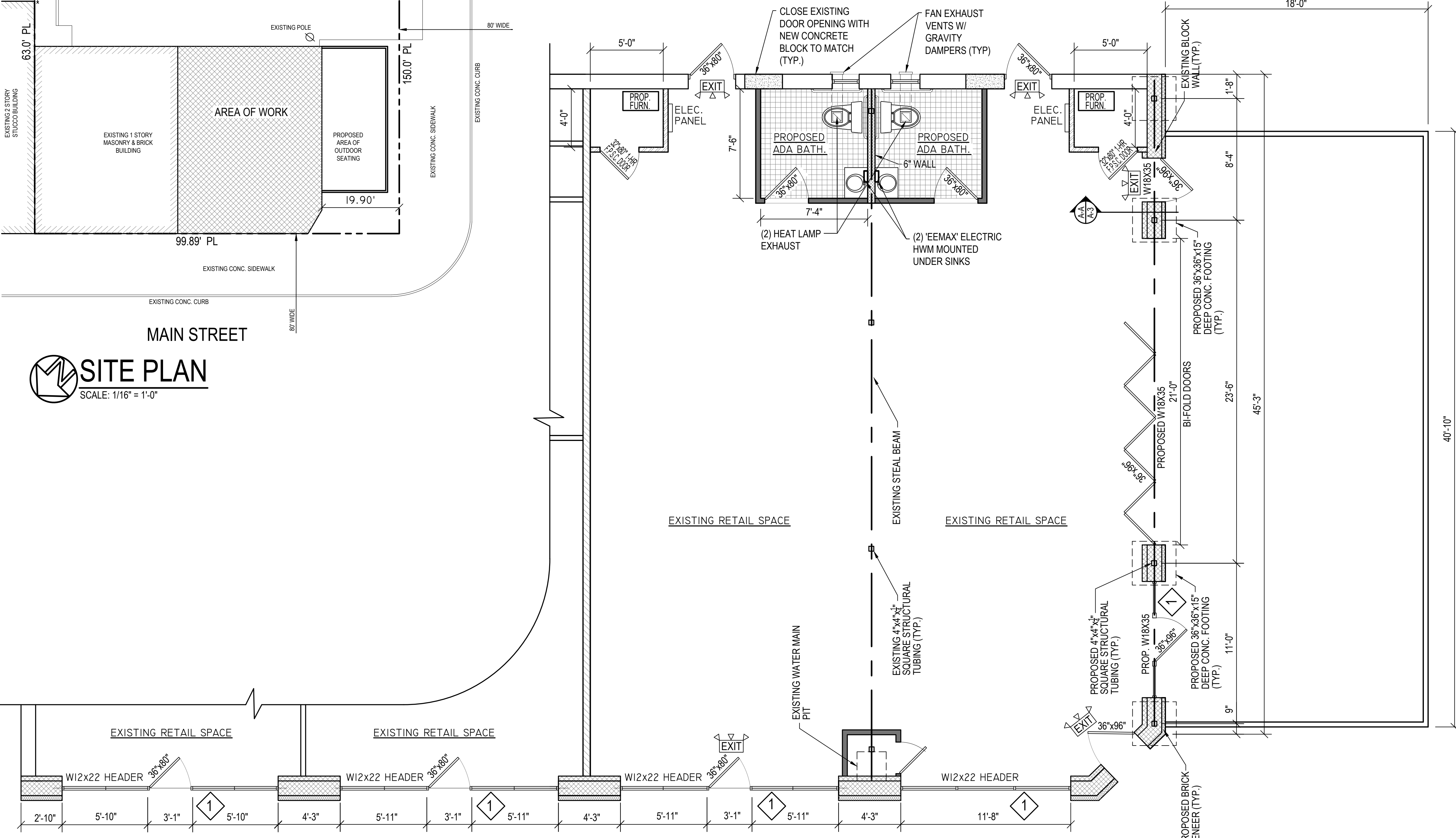
**TYP. FIRE RATED WALL DETAIL**  
NTS



**EXT. WALL DETAIL**  
NTS



**STOREFRONT WALL DETAIL**  
NTS



**WALL LEGEND**

- NEW EXTERIOR WALL  
8" CMU BLOCK WALL  
R-15 INSULATION  
3 5/8" MTL. STUDS 20 GA.  
5/8" SHEETROCK ON INTERIOR
- NEW 12" CONCRETE BLOCK INFILL
- NEW BRICK VENEER
- INTERIOR NON RATED WALL  
3 5/8" MTL. STUDS @ 16" O.C.  
W/ 1-LAYER OF 1/2" SHEETROCK  
ON EACH SIDE
- INTERIOR NON RATED WALL  
6" 18 GA. MTL. STUDS @ 16" O.C.  
W/ 1-LAYER OF 5/8" FIRE RATED  
SHEETROCK ON EACH SIDE
- 1 HR. RATED INTERIOR WALL (NON-BEARING)  
3 5/8" MTL. STUDS @ 16" O.C.  
W/ 1-LAYER OF 5/8" TYPE "X" FIRE RATED  
SHEET ROCK ON EACH SIDE

**LEGEND**

- FURN.
- DIRECT VENT, GAS FIRED FURNACE  
W/ THRU-WALL EXHAUST BY TRANE; MODEL  
#GUH92A135D5M; 135,000 BTU;
- 50 CFM TOILET EXHAUST FAN TO EXTERIOR  
(CFM / WATT = 1.4 CFM / WATT)
- ELECTRIC TANKLESS  
HOT WATER HEATER BY 'EEMAX';  
MODEL # EXSP3512; 3.5 KW; 29.2 AMPS

NO.	DATE	DESCRIPTION	BY
<b>REVISIONS</b>			
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**STEVEN R. SAVINO R.A.**  
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MONROE, NEW JERSEY 08831  
732-866-7877

BLOCK: 105	LOT: 15	ZONE: CBD-1
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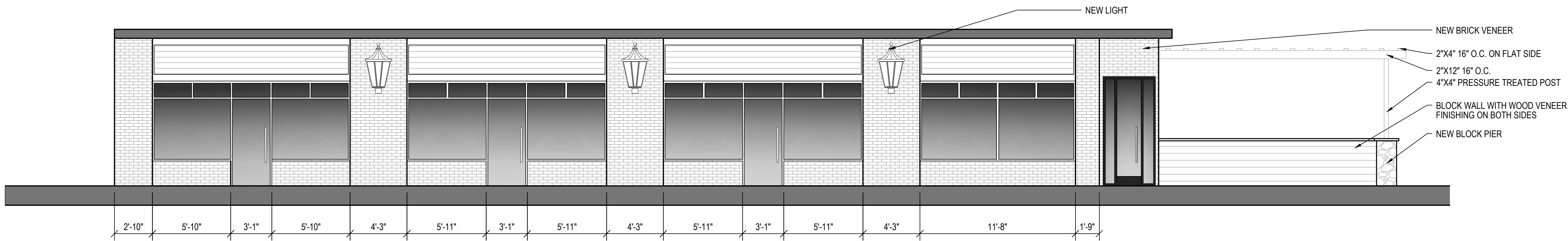
PROJECT  
**1012 MAIN REALTY LLC**  
1008-1014 MAIN STREET, BELMAR, NJ

INTERIOR ALTERATIONS TO TWO EXIST. SPACES  
RECONFIGURING BATHROOMS TO HANDICAP ACCESSORY  
AND INSTALL BI-FOLD DOORS, PERGOLA, AND NEW STORE FRONTS

SITE PLAN / PARTIAL FLOOR PLAN / WALL  
DETAILS / PLUMBING RISER DIAGRAM / NOTES

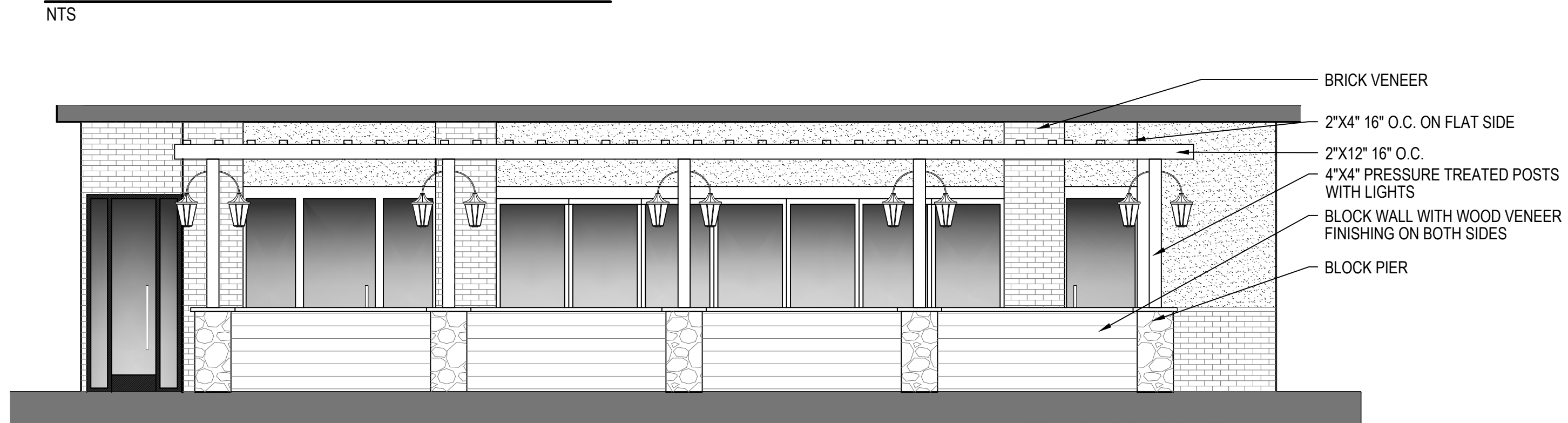
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**PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



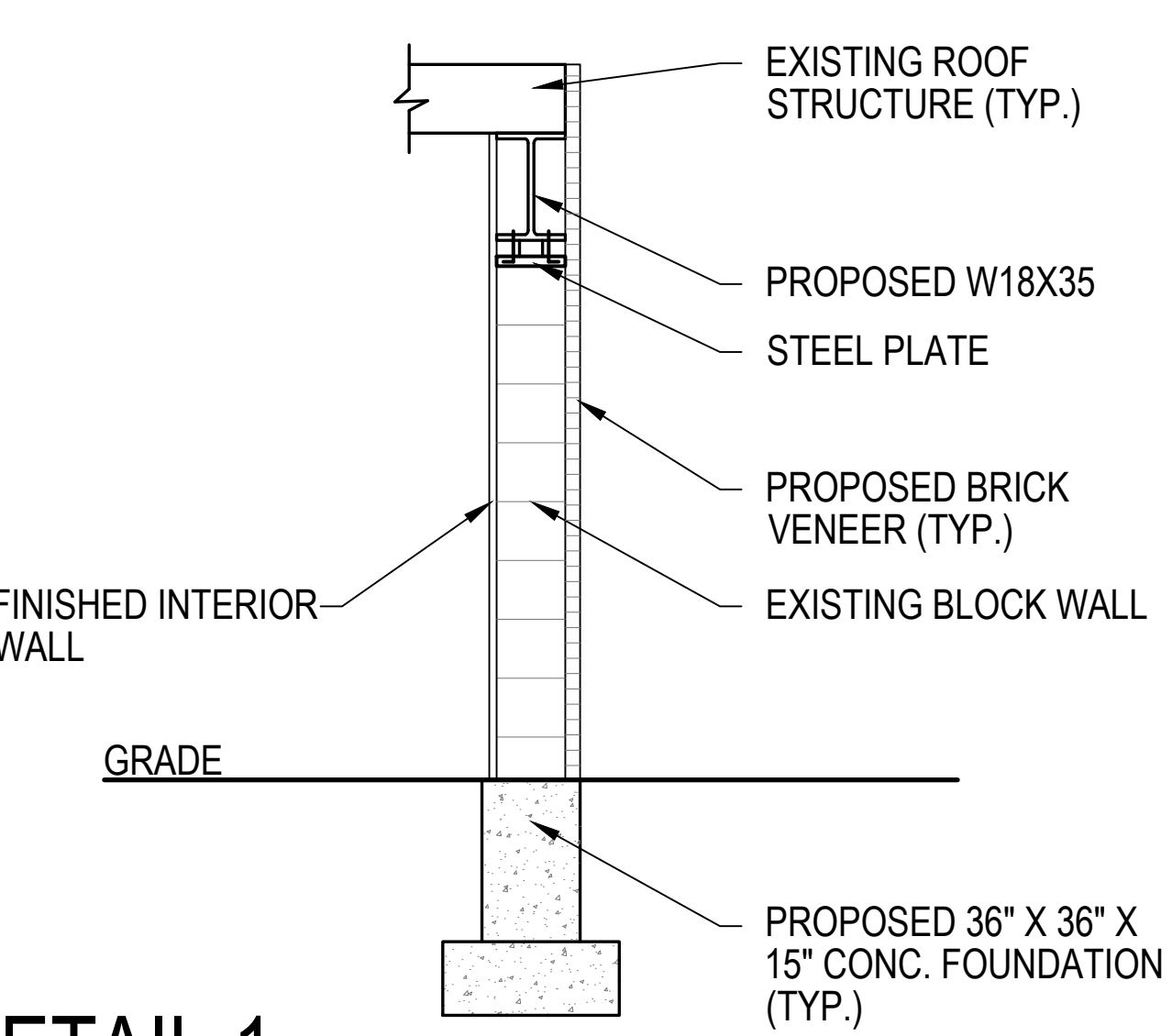
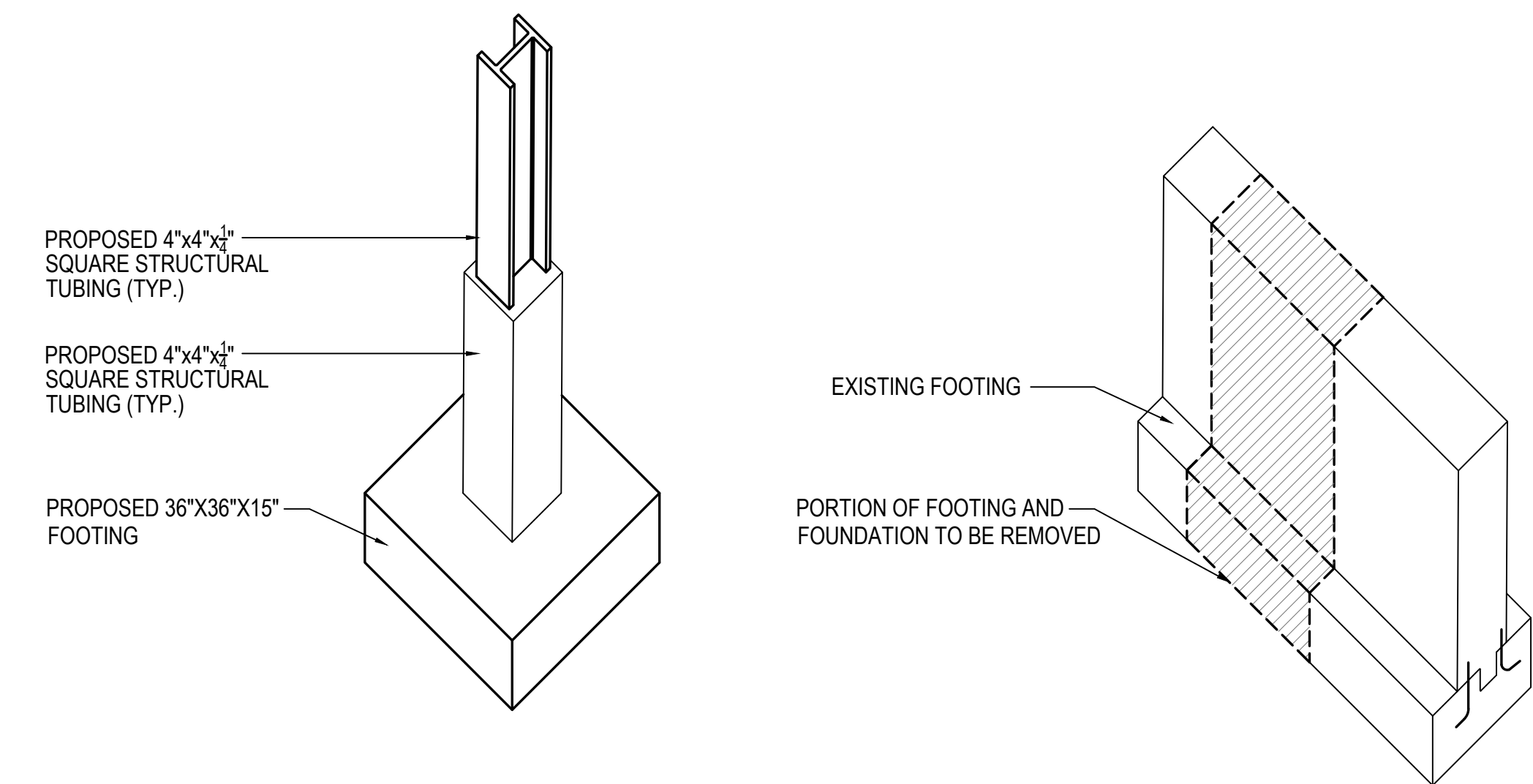
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NTS



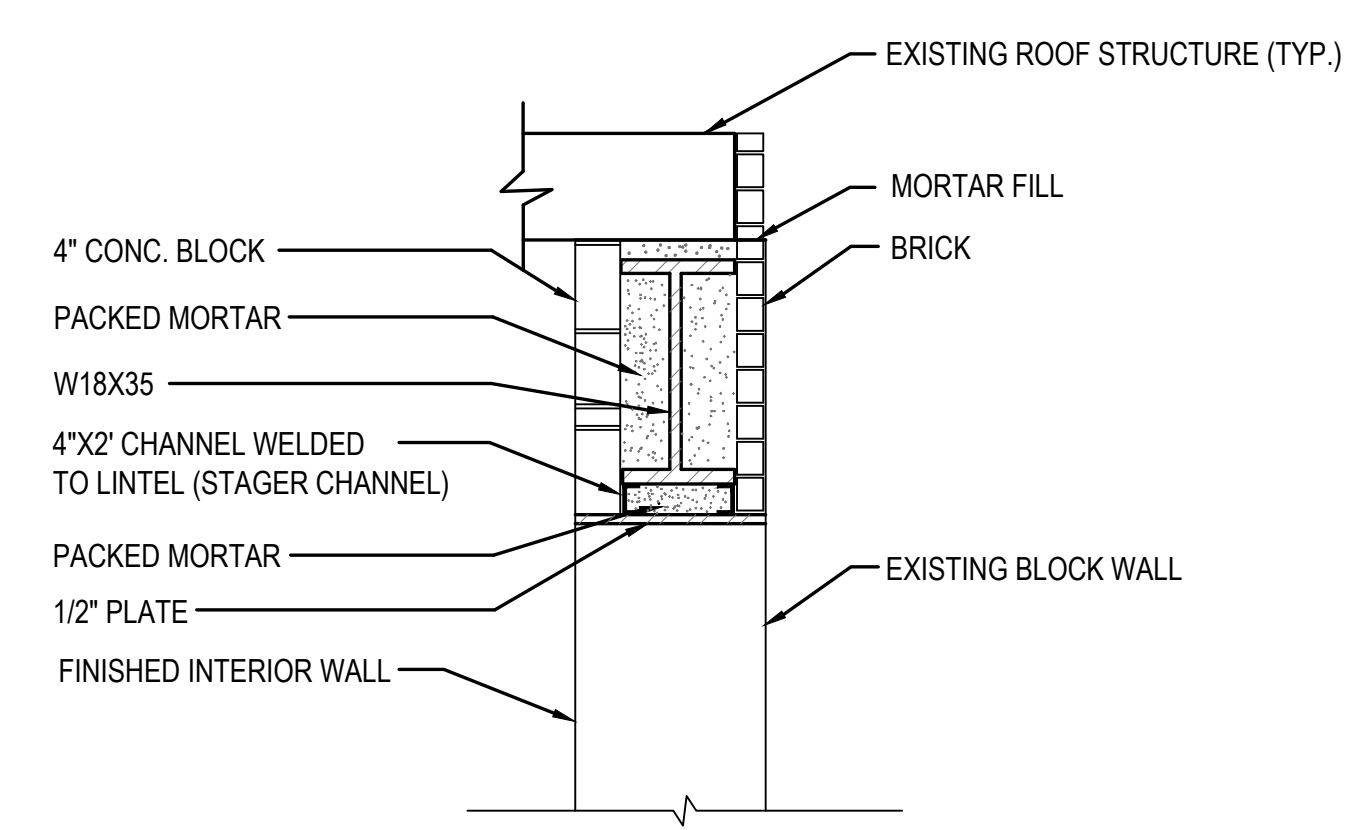
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NTS



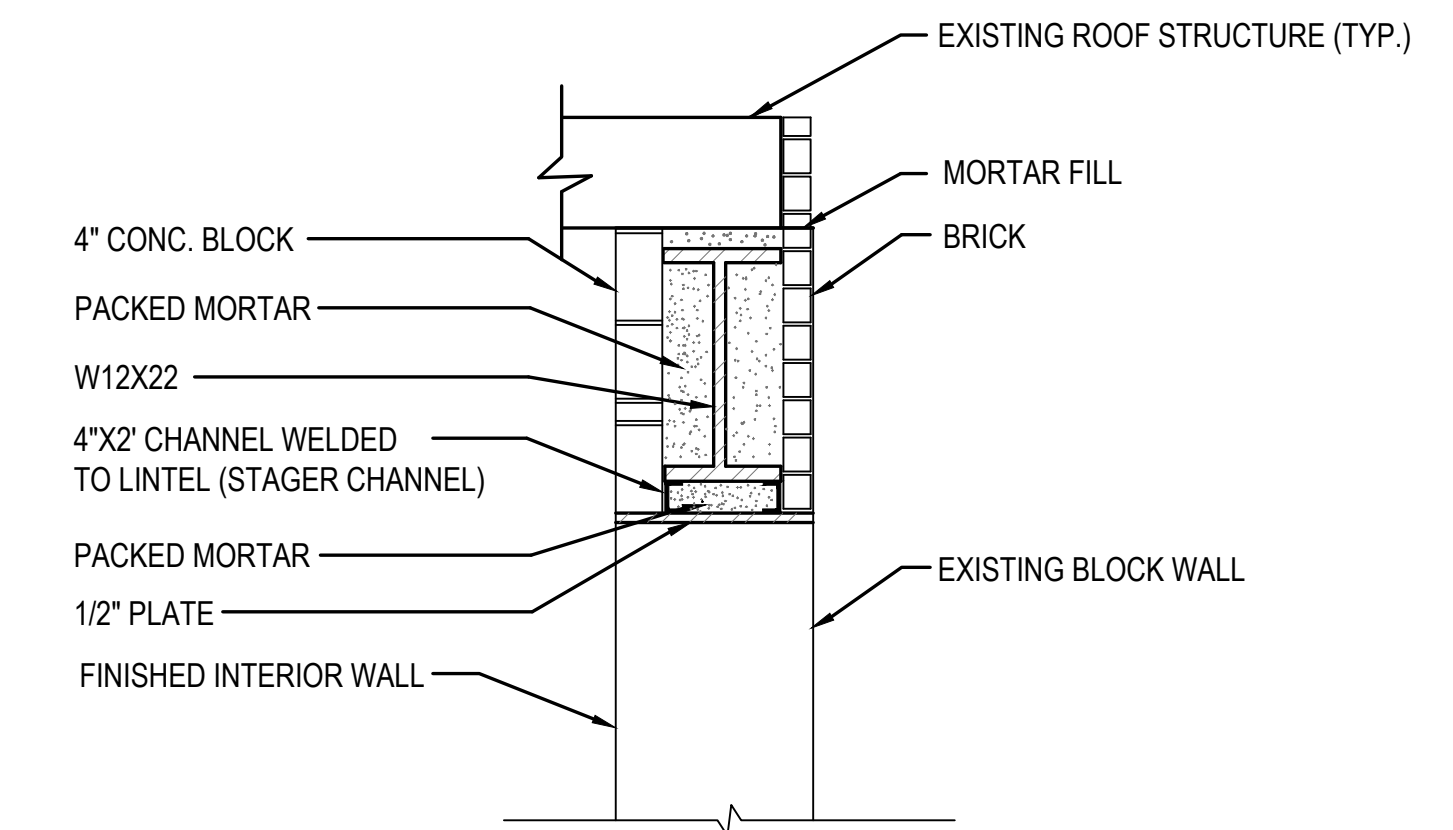
### DETAIL 1

NTS



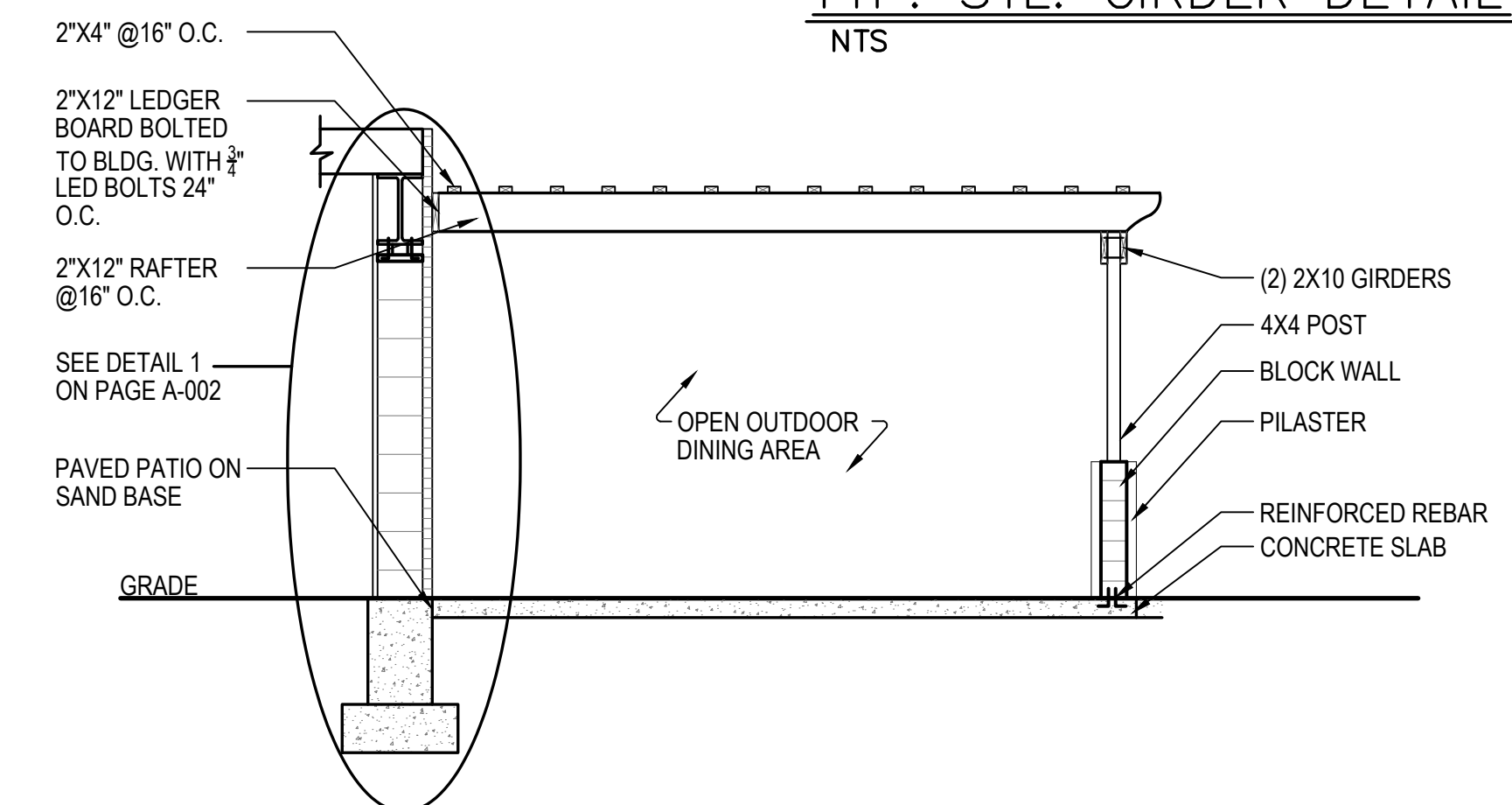
### TYP. STL. GIRDER DETAIL

NTS



### TYP. STL. LINTEL DETAIL

NTS (for openings greater than 3')



### SECTION A

NTS

STOREFRONT SCHEDULE							
<b>NOTES:</b> STOREFRONT UNITS TO BE MANUF. BY "KAWNEER" OR APPROVED EQUAL. ARCHITECTURAL REP. TO VERIFY ALL UNIT DIM., ASSEMBLIES AND QUANTITIES. ALL UNITS TO BE CAPABLE OF WITHSTANDING 100 M.P.H. WIND LOADS. INSTALLATION SHALL BE IN CONFORMANCE WITH MANUF. DETAILS INCLUDING CENTERING WINDOW WIN ROUGH OPENING. ALL OPERABLE UNITS TO BE PROVIDED WITH SCREENS. VERIFY USE OF BRASS OR CUSTOM HARDWARE INCLUDING FOOT AND KEY LOCKS. ALL GLASS TO BE HIGH PERFORMANCE EXCEPT ON SOUTH AND WEST EXPOSURES WHERE HIGH PERFORMANCE SUN IS TO BE USED. COORDINATE LOCATIONS WITH ARCHITECT. ALL GLASS WITHIN 18" OF THE FINISHED FLOOR OR WITHIN 12" OF A DOOR SHALL BE TEMPERED. QUANTITIES INDICATED ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTOR AND DISTRIBUTOR TO VERIFY. UNITS SHALL BE INSTALLED USING GALVANIZED NAILS OF SUFFICIENT LENGTH TO PENETRATE WALL STUDS/MEMBERS 1-1/2". ALL UNITS INDICATED AS MULLED SHALL BE ASSEMBLED BY MANUFACTURER OR AUTHORIZED DISTRIBUTOR FOR DELIVERY TO JOB SITE.							
NO.	HEIGHT	WIDTH	TYPE	MODEL NO.	MANUFACTURER	U-FACTOR	QUANTITY
1	8'-0"	VARIES	STOREFRONT FIXED	TRIFAB 400	KAWNEER	.34	5
2	8'-0"	21'-0"	BI-FOLD DOORS	-	KAWNEER	.34	1

ITEM DESCRIPTION	PROPOSED DESIGN VALUE
VERTICAL FENESTRATION: (40% MAX. OF ABOVE-GRADE WALL) METAL FRAMING WITH OR WITHOUT THERMAL BREAK.	
ENTRANCE DOOR U-FACTOR	0.34
SHGC - ALL FRAME TYPES - PF<0.25	0.33

NO.	DATE	DESCRIPTION	BY:
<b>REVISIONS</b>			

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**STEVEN R. SAVINO R.A.**  
 12 MACFARLANE CIRCLE  
 MONROE, NEW JERSEY 08831  
 732-656-7877

BLOCK: 105    LOT: 15    ZONE: CBD-1

PROJECT  
**1012 MAIN REALTY LLC**  
 1008-1014 MAIN STREET, BELMAR, NJ

INTERIOR ALTERATIONS TO TWO EXIST. SPACES RECONFIGURING BATHROOMS TO HANDICAP ACCESSORY AND INSTALL BI-FOLD DOORS, PERGOLA, AND NEW STORE FRONTS

FRONT AND SIDE ELEVATIONS / BEAM DETAILS  
 WALL SECTION / STOREFRONT SCHEDULE

SEAL & SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT No: \_\_\_\_\_

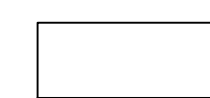

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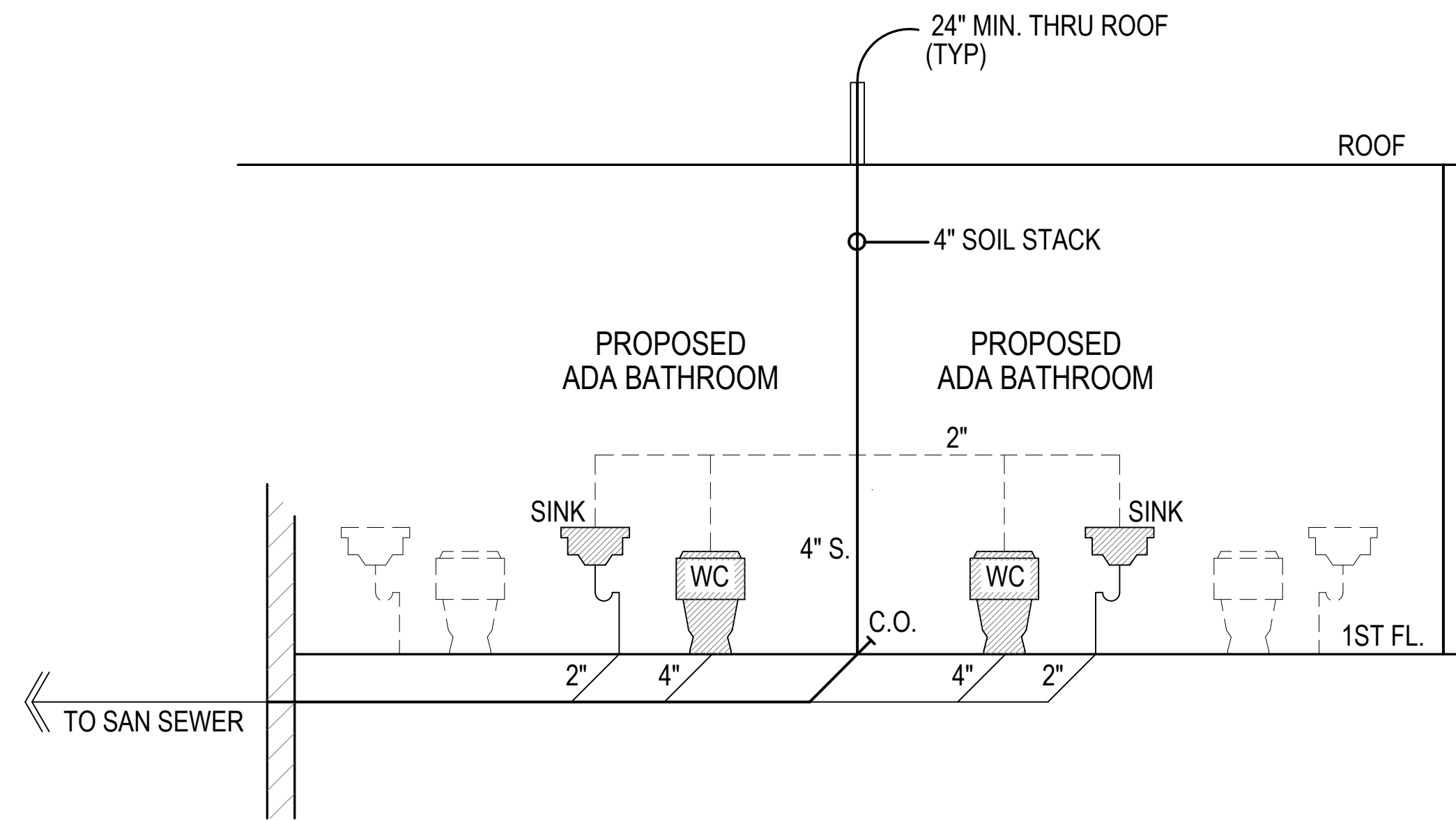
CHK BY: S.R.S.

DWG No: **A-002.00**

CAD FILE No: \_\_\_\_\_    2 OF \_\_\_\_\_

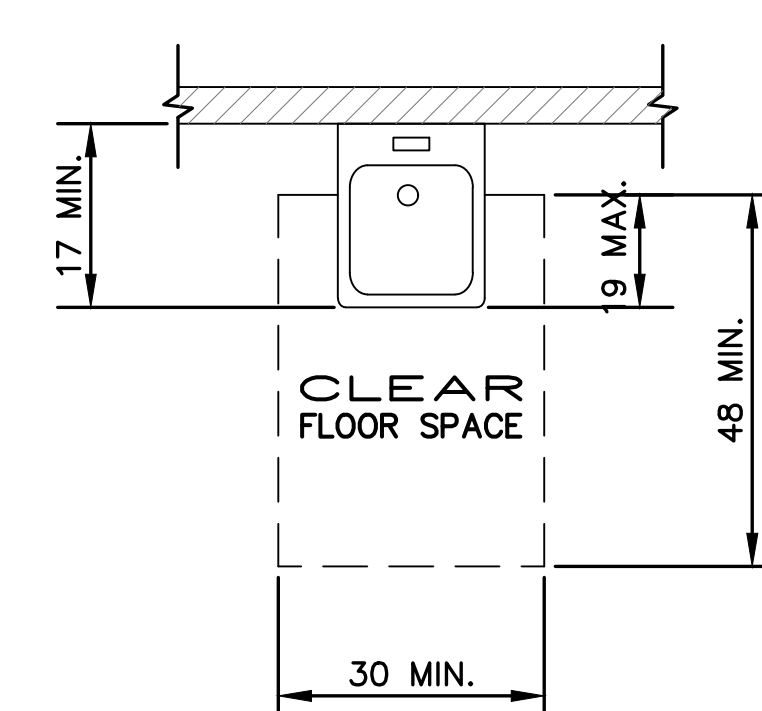
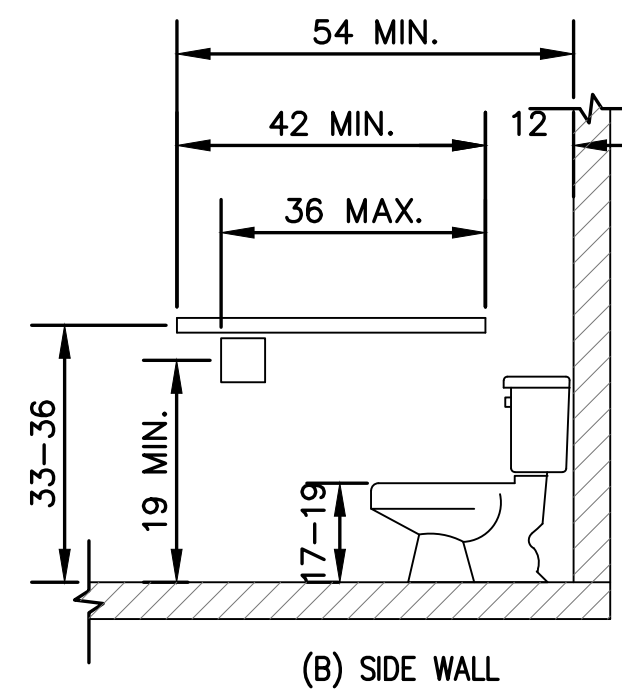
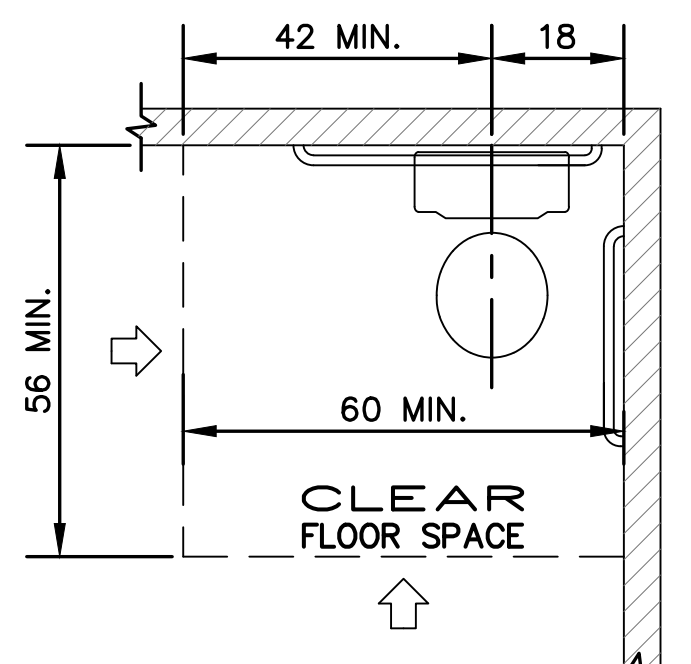
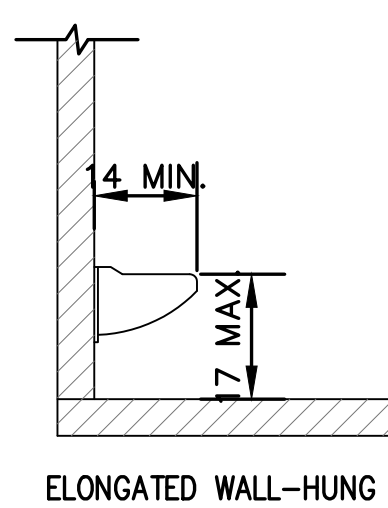
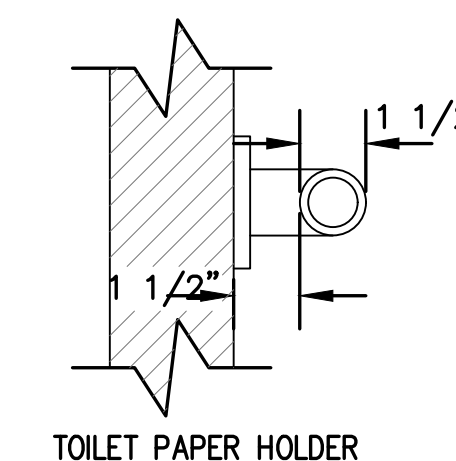
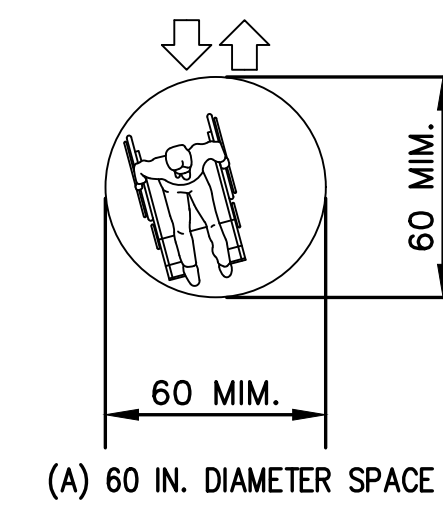
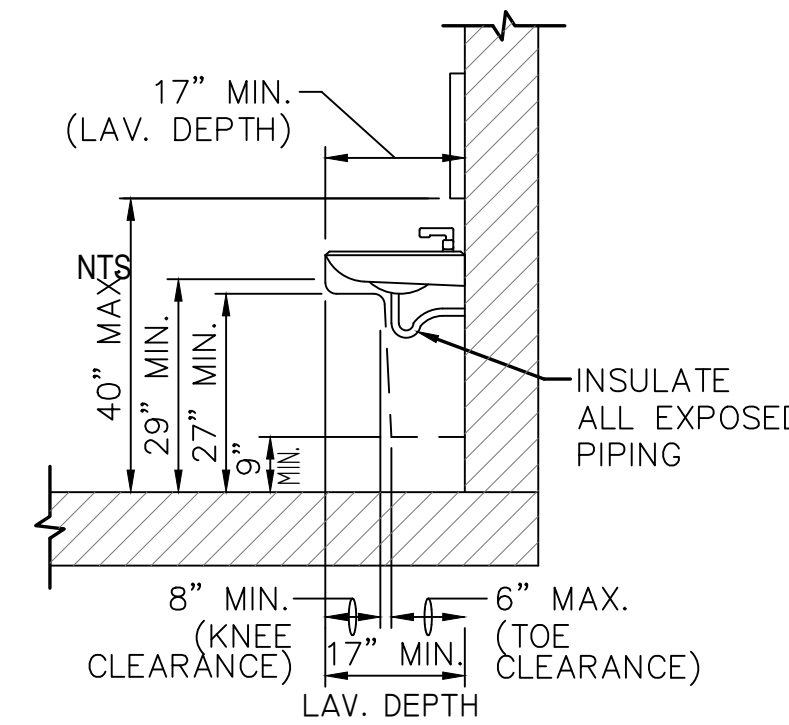
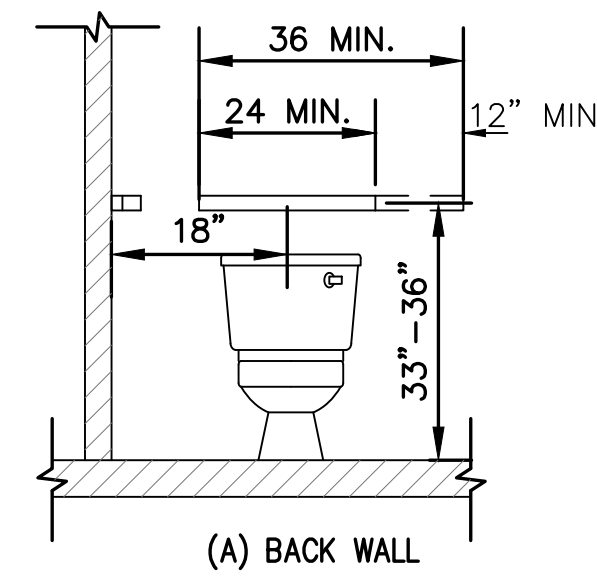
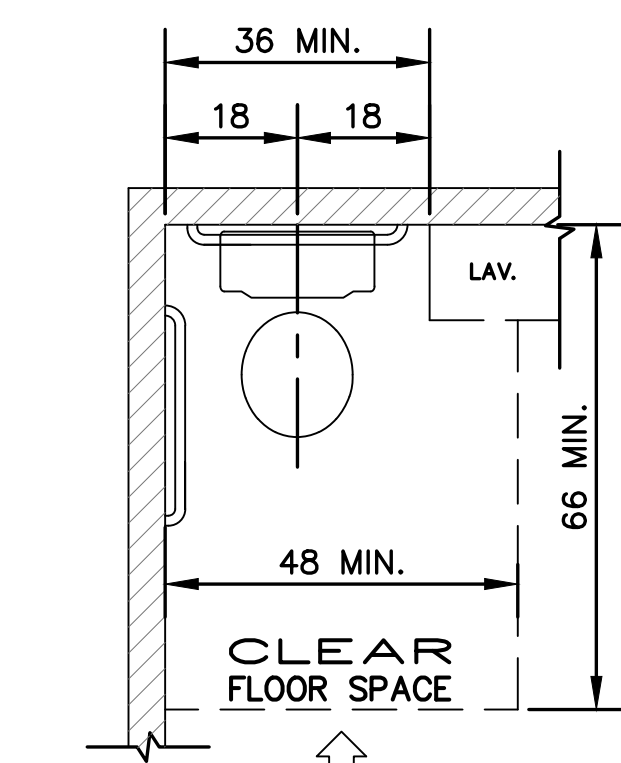
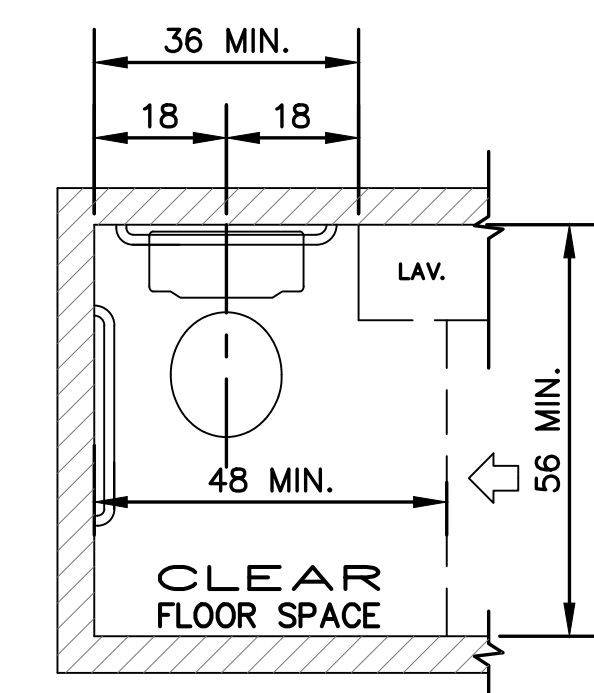
**PLUMBING LEGEND**

-  - EXISTING FIXTURE TO BE REMOVED
-  - PROPOSED FIXTURE



**PLUMBING RISER DIAGRAM**

NTS



NO.	DATE	DESCRIPTION	BY:
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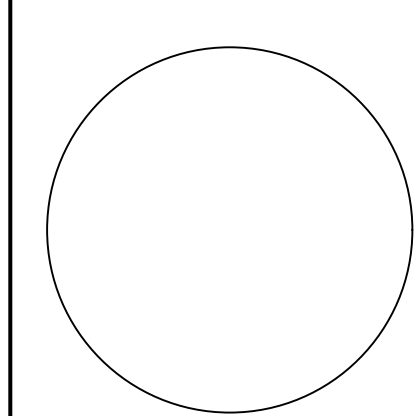
**STEVEN R. SAVINO R.A.**  
 12 MACFARLANE CIRCLE  
 MONROE, NEW JERSEY 08831  
 732-666-7877

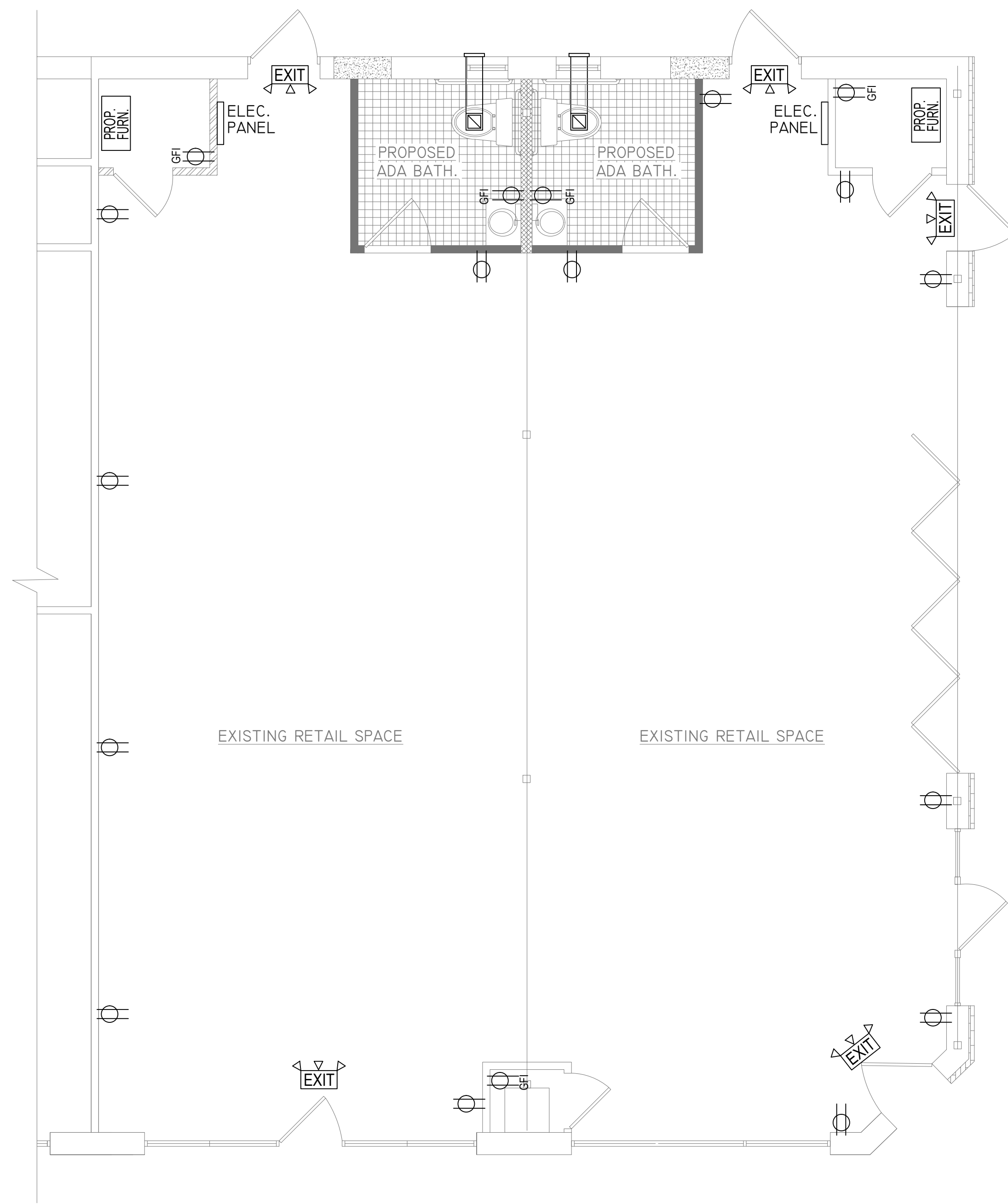
BLOCK: 105    LOT: 15    ZONE: CBD-1

PROJECT  
**1012 MAIN REALTY LLC**  
 1008-1014 MAIN STREET, BELMAR, NJ

INTERIOR ALTERATIONS TO TWO EXIST. SPACES RECONFIGURING BATHROOMS TO HANDICAP ACCESSORY AND INSTALL BI-FOLD DOORS, PERGOLA, AND NEW STORE FRONTS

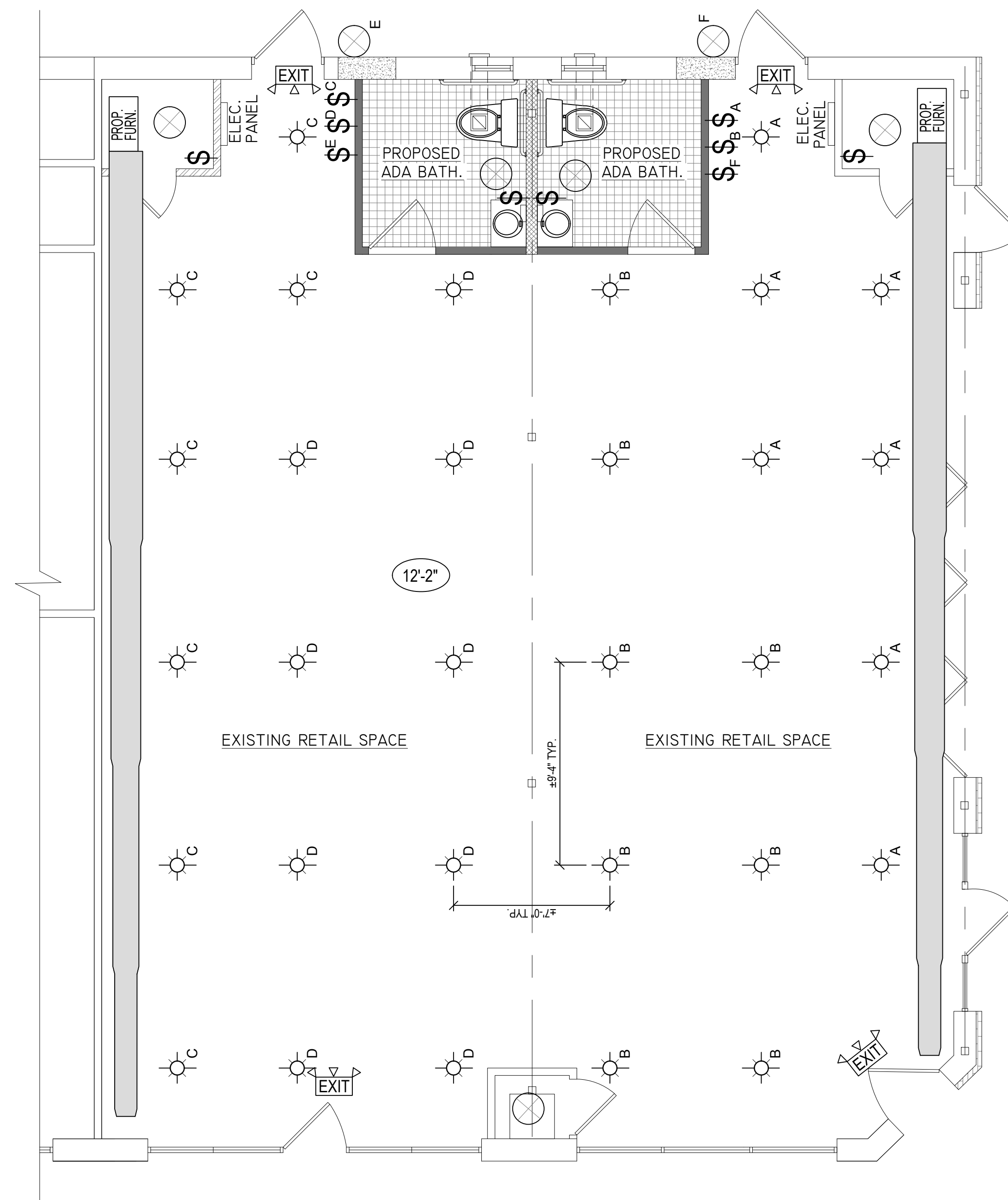
PLUMBING RISER DIAGRAM / HANDICAP DETAILS

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	PROJECT No:
	DRAWING BY:
	CHK BY: S.R.S.
	DWG No:
	<b>A-003.00</b>
CAD FILE No:	3 OF



- ### LEGEND
- NEW DUPLEX WALL OUTLET  
110 VOLT 15 AMP  
(UNLESS SPECIFIED DIFFERENTLY)
  - NEW DUPLEX GFI WALL OUTLET  
110 VOLT 15 AMP
  - SINGLE POLE SWITCH
  - 50 CFM TOILET EXHAUST FAN TO EXTERIOR
- NOTE:  
WALL OUTLETS TO BE MOUNTED 18" AFF  
UNLESS OTHERWISE NOTED.  
LIGHT SWITCHES TO BE MOUNTED 48" AFF  
UNLESS OTHERWISE NOTED.

**PARTIAL ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



**PARTIAL RCP**  
SCALE: 1/4" = 1'-0"

### RCP LEGEND

- 6" RECESSED HIGH HAT
- PROP. THREE HEAD EMERGENCY EXIT LIGHT AND SIGN W/ BATTERY BACKUP OVER EVERY EXIT DOOR
- LED LIGHT FIXTURE
- EXPOSED ROUND SUPPLY DUCT
- CEILING HEIGHT

NO.	DATE	DESCRIPTION	BY:
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MONROE, NEW JERSEY 08831  
732-656-7877

BLOCK: 105    LOT: 15    ZONE: CBD-1

PROJECT  
**1012 MAIN REALTY LLC**  
1008-1014 MAIN STREET, BELMAR, NJ

INTERIOR ALTERATIONS TO TWO EXIST. SPACES RECONFIGURING BATHROOMS TO HANDICAP ACCESSORY AND INSTALL BI-FOLD DOORS, PERGOLA, AND NEW STORE FRONTS

### PARTIAL REFLECTED CEILING PLAN

SEAL & SIGNATURE:

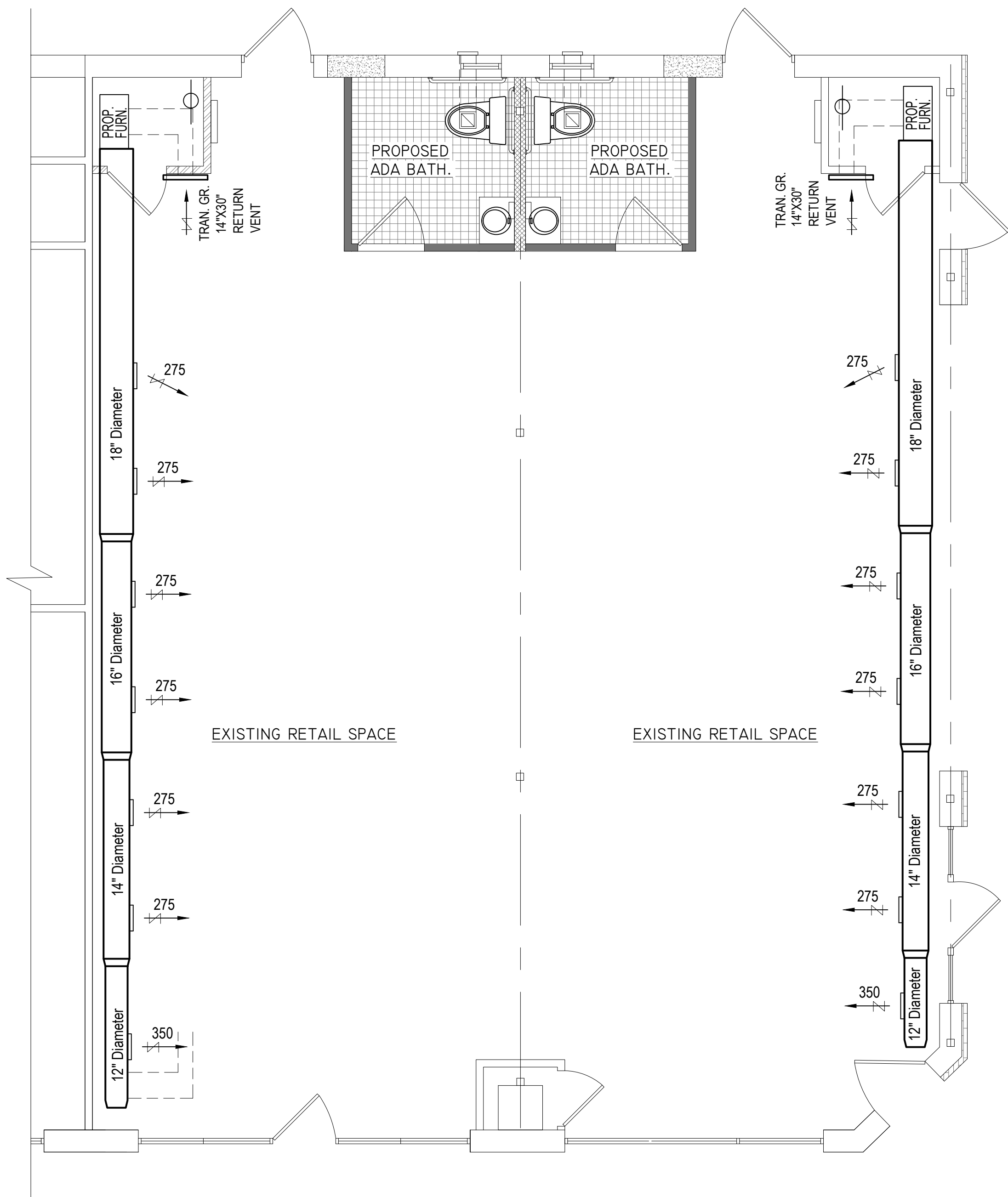
DATE: \_\_\_\_\_  
PROJECT No: \_\_\_\_\_  
DRAWING BY: \_\_\_\_\_  
CHK BY: S.R.S.  
DWG No: \_\_\_\_\_

**E-001.00**

CAD FILE No: \_\_\_\_\_    4 OF \_\_\_\_\_

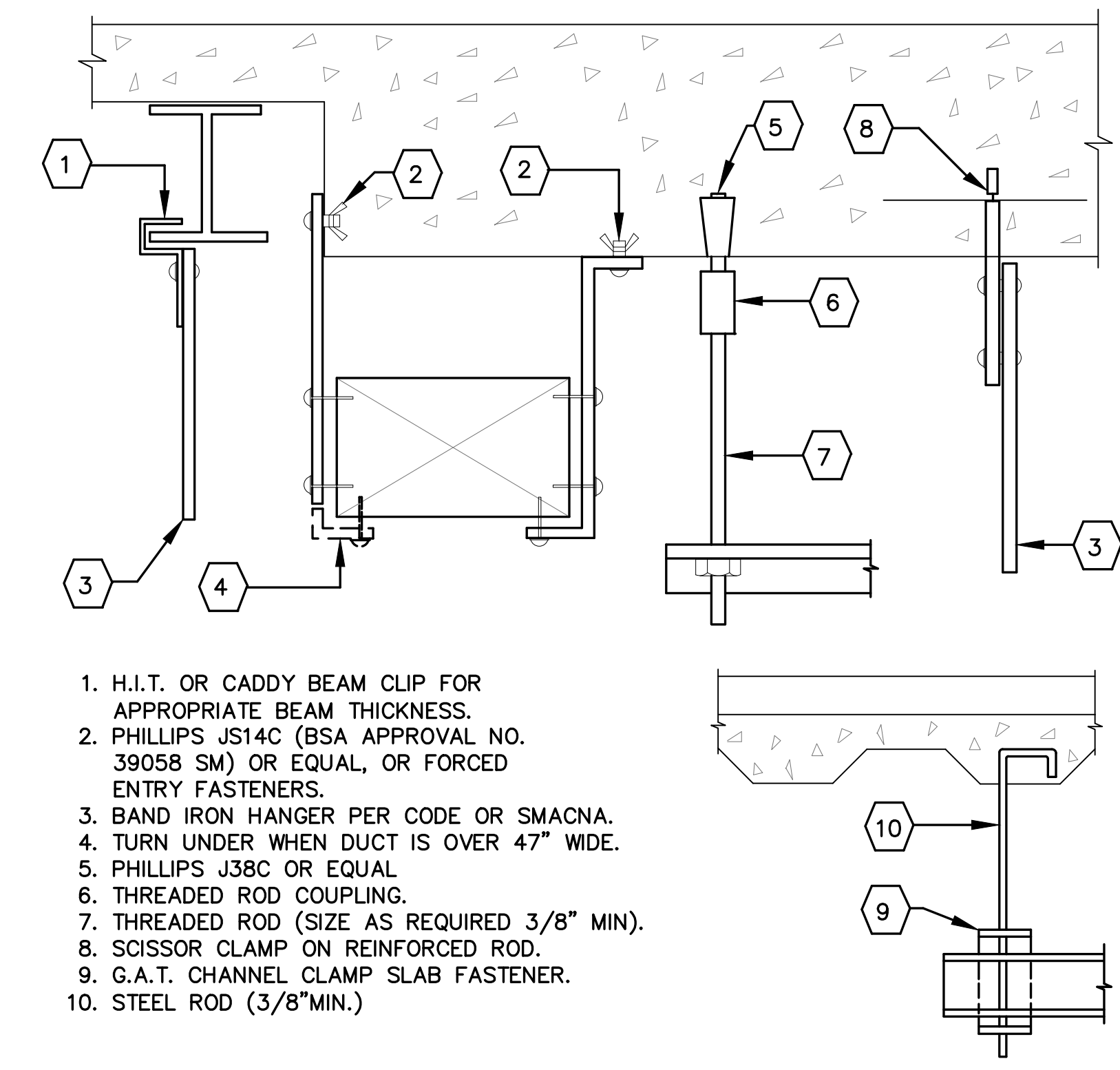
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
		5			LED 15.6W 22" 56 LED linear LED module 4000K	LDCL31L4K 22-9PFRSS-WR.ies	1886	0.95	39.42
		31	ATLANTIC LIGHTING LHB16 35K-CL-DA	L8in OSRAM 3000LM 35K MEDIUM	LED OSRAM CUBE 3000	ATL838230.ies	3000	0.95	35

POWER DENSITY STATISTICS				
Name	# Luminaires	Total Watts	Area	Density
Total Area W SQ FT	56	2180.7 W	2954.3 ft²	0.7 W/ft²



**LEGEND**

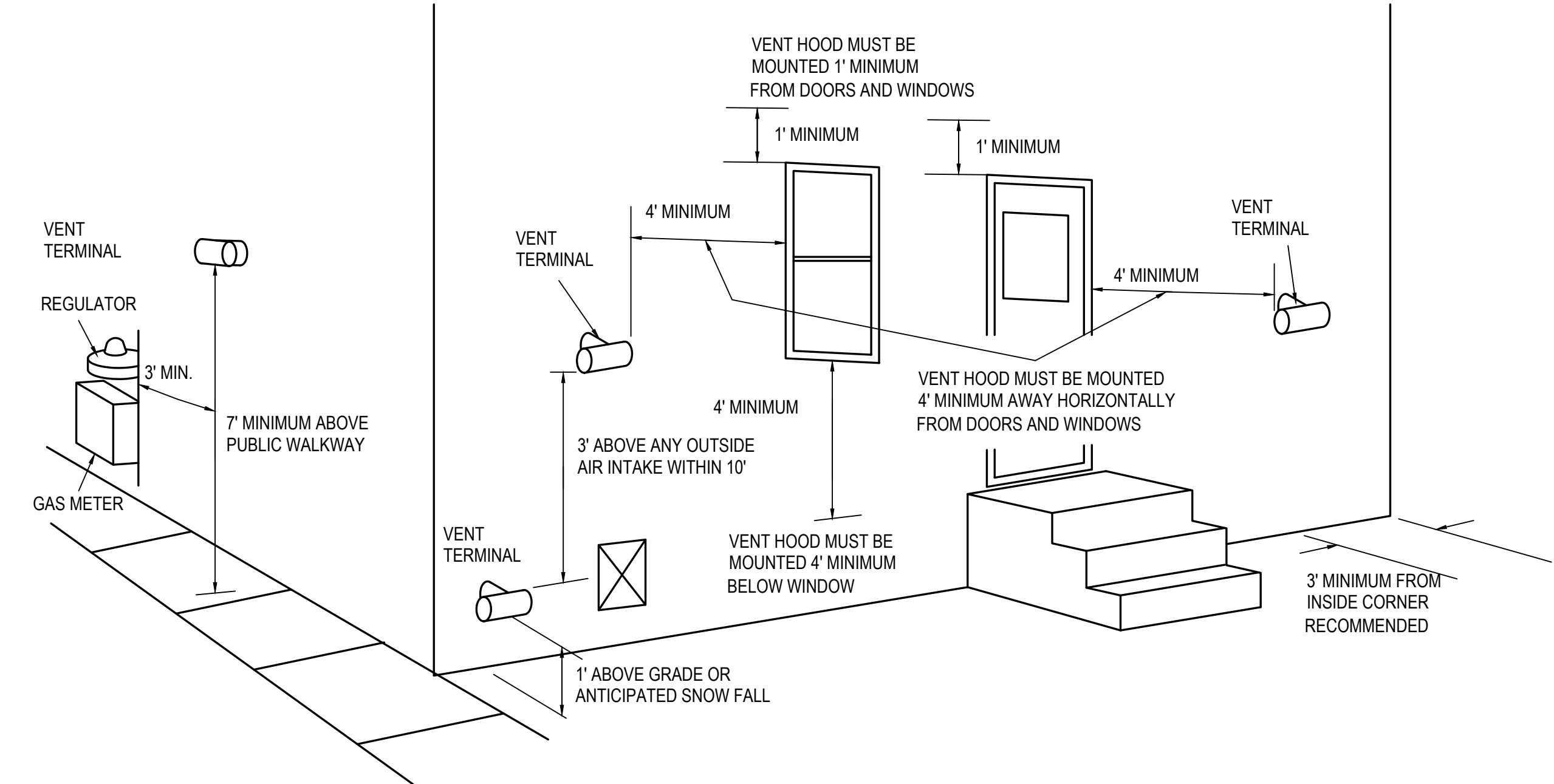
- CEILING HEIGHT
- 2x2 AIR DUCT SUPPLY
- DUCT RETURN (SIZE NOTED ON PLAN)
- ROUND AIR DUCT SUPPLY (DIAMETER NOTED ON PLAN)
- FLEX DUCT (DIAMETER NOTED ON PLAN)
- RIGID DUCT (SIZE NOTED ON PLAN)
- TRAN. GR. TRANSFER GRILLE FOR RETURN AIR
- DIRECTION OF AIR FLOW
- DIRECT VENT, GAS FIRED FURNACE W/ THRU-WALL EXHAUST BY COMFORT AIR; MODEL #GUH92A135D5M; 135,000 BTU;
- 50 CFM TOILET EXHAUST FAN TO EXTERIOR (CFM / WATT = 1.4 CFM / WATT)



**METHOD OF HANGING DUCTWORK**

1. H.I.T. OR CADDY BEAM CLIP FOR APPROPRIATE BEAM THICKNESS.
2. PHILLIPS JS14C (BSA APPROVAL NO. 39058 SM) OR EQUAL, OR FORCED ENTRY FASTENERS.
3. BAND IRON HANGER PER CODE OR SMACNA.
4. TURN UNDER WHEN DUCT IS OVER 47" WIDE.
5. PHILLIPS J38C OR EQUAL.
6. THREADED ROD COUPLING.
7. THREADED ROD (SIZE AS REQUIRED 3/8" MIN).
8. SCISSOR CLAMP ON REINFORCED ROD.
9. G.A.T. CHANNEL CLAMP SLAB FASTENER.
10. STEEL ROD (3/8" MIN.)

**PARTIAL MECHANICAL PLAN**  
SCALE: 1/4" = 1'-0"



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<b>REVISIONS</b>			

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732-656-7877

BLOCK: 105    LOT: 15    CBD-1

PROJECT  
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1008-1014 MAIN STREET, BELMAR, NJ

INTERIOR ALTERATIONS TO TWO EXIST. SPACES RECONFIGURING BATHROOMS TO HANDICAP ACCESSORY AND INSTALL BI-FOLD DOORS, PERGOLA, AND NEW STORE FRONTS

**MECHANICAL PLAN / DETAILS**

SEAL & SIGNATURE: 	DATE:
	PROJECT No:
	DRAWING BY:
	CHK BY: S.R.S.
	DWG No:
<b>M-001.00</b>	
CAD FILE No:	5 OF

**DEMOLITION NOTES:**

1. ALL DEMOLITION WORK TO BE PREFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UNIFORM CONSTRUCTION CODE BOCA BASIC BUILDING CODE, NATIONAL ELECTRICAL, MECHANICAL AND PLUMBING CODES.
2. OWNER SHALL BE GIVEN FIRST RIGHT OF REFUSAL OF ALL DEMOLITION MATERIALS & EQUIPMENT, PRIOR TO COMMENCING WITH DEMOLITION WORK OWNER & CONTRACTOR SHALL IDENTIFY THOSE ITEMS TO BE SALVAGED.
3. DISCONNECT AND STUB-OFF ALL ELECTRICAL, HVAC AND PLUMBING SERVICES PRIOR TO DEMOLITION WORK.
4. ALL RUBBISH AND DEBRIS FROM DEMOLITION AND ALTERATION OF EXISTING STRUCTURE AND CONSTRUCTION OF NEW WORK SHALL BE TRUCKED OFF SITE AND LEGALLY DISPOSED OF AT A STATE APPROVED DUMP SITE.
5. REMOVE ALL WALLS, DOORS, FRAMES, GLASS, CEILING GRID, ACOUSTICAL TILE, GYPSUM BOARD CEILING, LIGHT FIXTURES, MECHANICAL SYSTEMS, PLUMBING FIXTURES, ETC. AS INDICATED IN AREAS ON FLOOR PLAN.
6. SCOPE OF WORK INCLUDES DEMOLITION, REMOVAL AND LEGAL DISPOSAL OF DEBRIS OFF-SITE AS REQUIRED TO ACHIEVE NEW IMPROVEMENTS SHOWN ON DETAILS, SECTIONS AND PLANS. ANY ADJACENT SURFACES DISTRIBUTED BY REMOVALS SHALL BE PROPERLY REPAIRED & RESTORED TO MATCH EXISTING CONDITIONS.
7. USE ALL MEANS NECESSARY TO PREVENT EXCESSIVE SPREAD OF DUST DURING PERFORMANCE OF WORK, THOROUGHLY MOISTEN ALL SURFACES AS REQUIRED TO PREVENT DUST BEING A NUISANCE TO THE PUBLIC, NEIGHBORS AND CURRENT PERFORMANCE OF OTHER WORK ON SITE.
8. CONTRACTOR IS REQUIRED TO MAKE A COMPLETELY SURVEY OF THE EXISTING CONDITIONS, COMPARE THE CONTRACT DOCUMENTS FOR THIS PROJECT WITH THE EXISTING CONDITIONS, AND THEN THE CONTRACTOR SHALL DETERMINE OF DEMOLITION WORK AND/OR RELOCATION WORK REQUIRED TO ACCOMPLISH THE WORK SHOWN ON THE DRAWING.

**ELECTRICAL NOTES AND SPECS:**

- A. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE BOCA, AND OSHA, LATEST EDITIONS.
- B. ALL WIRING DEVICES SHALL BE MFG. BY HUBBELL OR G.E., 20 AMP RATED, SPEC, GRADE.
- C. ALL OUTLET BOXES SHALL BE STEEL EXTRA-DEEP WITH GROUNDING PIGTAILS. GROUNDING PUSH CLIPS NOT ACCEPTABLE. PROVIDE PROPER TYPE CONNECTORS AT ALL BOXES FOR CONDUIT AND BX CABLE.
- D. ALL WIRE NUTS SHALL BE 3M WING NUT TYPE WITH INTERIOR COPPER THREAD TYPE COILS.
- E. PROVIDE ALL GROUNDING AS REQUIRED BY NEC OR ANY LOCAL CODES.
- F. CONTRACTOR SHALL VISIT THE SITE PRIOR TO COMMENCING WITH WORK TO FAMILIARIZE HIMSELF WITH ALL CONDITIONS OF AREAS.
- G. ALL WIRING INSTALLED UNDER THIS CONTRACT, PRIOR TO TURNING OVER OF THE WORK AS A COMPLETE UNIT, SHALL BE TESTED FOR PROPER CONNECTIONS, SHORT CIRCUITS, AND GROUNDS.
- H. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FORM DATE OF ACCEPTANCE BY OWNER & ARCHITECT.
- I. ALL BRANCH CIRCUIT WIRING AND PANEL FEEDERS SHALL BE THWN/THHN, 600V, CU. ALL WIRING INSTALLED IN DAMP LOCATIONS SHALL BE THWN, 600V, CU
- J. CONTRACTOR SHALL REARRANGE EXISTING LIGHTING AS REQUIRED BY NEW CONSTRUCTION AND NEW LIGHTING. CONTRACTOR SHALL MAINTAIN EXISTING LIGHTING LEVELS AND UNIFORMITY OF LIGHTING LEVELS IN ANY ARRANGEMENT.

**GENERAL NOTES:**

1. ALL CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH THE IBC BUILDING CODE (2015 EDITION), AS AMENDED BY THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE AND ALL LOCAL CODES AND ZONING ORDINANCES HAVING JURISDICTION.
2. THE ARCHITECT WILL BE APPRAISED OF ANY DEVIATIONS AND/OR REVISIONS THAT MUST BE MADE ON THE DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND REPORTING ANY DISCREPANCIES TO ARCHITECT BEFORE PRECEDING WITH CONSTRUCTION.
4. ALL FRAMING MEMBERS INCLUSIVE FOR JOISTS, RAFTERS, STUDS, AND GIRDERS SHALL BE FROM LUMBER HAVING MINIMUM OF 900 PSI SHEAR FIBER STRESS.
5. ALL INTERIOR FINISHES FOR WALLS, FLOORS, AND CEILINGS SHALL BE SELECTED BY THE OWNER.
6. ALL HEADERS AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS: UP TO 4'-0" (2) 2"x6"; 4'-0" TO 6'-0", (2) 2"x8"; 6'X0" TO 9'-0", (2) 2"x10".
7. ALL PLUMBING FIXTURES, MATERIALS, AND INSTALLATIONS TO BE INSTALLED IN ACCORDANCE WITH ALL CURRENT NATIONAL, STATE AND LOCAL CODES.

**GENERAL NOTES:**

1. ALL WORK SHALL COMPLY WITH THE REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION. THE SPECIFICATIONS SHALL BE SUPPLEMENTAL TO LAWS AND CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS, AND ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS HOWEVER, BE CONSTRUCTED TO MEAN THAT ANY REQUIREMENTS SET FORTH IN THE SPECIFICATIONS CAN BE MODIFIED BECAUSE THEY ARE NOT SPECIFICALLY NOTED BY SUCH CODES OR LAWS.
2. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS AND REQUEST CLARIFICATION BEFORE SUBMITTING A PROPOSAL FOR COMMENCING ANY WORK.
3. ALL APPROVALS SHALL BE FOR DESIGN APPEARANCE ONLY, CONTRACTOR(S) SHALL BE RESPONSIBLE FOR QUANTITIES, DIMENSIONS, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS, AND FOR INFORMATION PERTAINING TO FABRICATION PROCESS OF TECHNIQUES OF FIRST CLASS CONSTRUCTION AND FOR COORDINATION WITH OTHER TRADES.
4. THE GENERAL CONTRACTOR UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS, AND HE WILL BE EXPECTED TO COMPLY WITH THE SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
5. BEFORE SUBMITTING A PROPOSAL, ALL CONTRACTORS SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK AND THE DIFFICULTIES THAT ATTEND ITS EXECUTION.
6. THE GENERAL CONTRACTOR SHALL REMOVAL ALL RUBBISH AND WASTE MATERIALS, BOTH FROM HIS OWN AND OTHER SUBCONTRACTOR'S EMPLOYEES, INCLUDING THAT RUBBISH WHICH IS BY-PRODUCT OF CARPET AND TELEPHONE COMPANY INSTALLATION, ETC.
7. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP PARTITIONS TO PROJECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
8. THE GENERAL CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM LEAVING THE JOB SITE.
9. THE GENERAL CONTRACTOR SHALL PROPERLY PROTECT THE BUILDING MANAGEMENT'S AND ANY ADJOINING PROPERTY OR WORK AND ANY DAMAGE CAUSED BY HIS WORK OR WORKMEN MUST BE MADE GOOD WITHOUT DELAY, PATCHING AND REPLACING OF DAMAGED WORK SHALL BE DONE BY THE CONTRACTOR WHO IS RESPONSIBLE FOR THE DAMAGE.
10. ALL REQUIRED EXITS, WAY OF APPROACH THERETO, AND WAY OF TRAVEL FROM THE EXIT INTO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN THE CASE OF FIRE OR OTHER EMERGENCY.
11. DURING THE ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, AL EXITING EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS SHALL BE CONSPICUOUSLY POSTED.
12. THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL THE CONTRACTOR(S).
13. UNLESS OTHERWISE NOTED, ALL MATERIAL, EQUIPMENT, ETC., SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

**PLUMBING RISER NOTES:**

1. VISIT THE SITE AND EXISTING CONDITIONS AS WELL AS SITE CONDITIONS TO BE MET BEFORE SUBMITTING BID. LACK OF UNDERSTANDING SHALL NOT CONSTITUTE AN EXCUSE FOR ERRORS OR OMISSIONS, NOR FOR REQUEST OF EXTRA COMPENSATION.
2. PLUMBING CONTRACTOR TO COORDINATE ALL SANITARY AND WASTE PIPING WITH TOWN AND LOCAL UTILITY CO. PLUMBING CONTRACTOR TO CONFORM TO LOCAL, STATE, B.O.C.A. AND UTILITY CO. CODES.
3. PLUMBING CONTRACTOR TO DO ALL CUTTING, TRENCHING AND ROUGH PATCHING AS REQUIRED FOR INSTALLATION OF HIS WORK FINAL PATCHING, FINISHING AND PAINTING TO A LIKE CONDITION AND/OR AS DICTATED BY CONTRACT SHALL BE DONE BY THE GENERAL CONTRACTOR.
4. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD TRACE AND DETERMINING EXACT CONNECTION POINTS AND REQUIRED INVERTS FOR CONNECTIONS AS INDICATED TO ALL SANITARY SEWER, STORM, WATER, AND GAS PIPING. SUCH CONNECTION TRENCHING AND PATCHING PROVIDED FOR UNDER THIS CONTACT.
5. PLUMBING CONTRACTOR TO RUN DWY AND CW/HW PIPING ITEMS. PROVIDE NEW INDIRECT WASTE AND AIR BREAKS AS INDICATED UNDER CHAPTER 9 OF THE NATIONAL PLUMBING CODE.

**PLUMBING MATERIALS:**

**SANITARY PIPING:** ALL UNDERGROUND SANITARY PIPING SHALL BE SERVICE WEIGHT CAST IRON WITH NEOPRENE COMPRESSION GASKETS. ABOVE GROUND SANITARY PIPING SHALL BE THE SAME MATERIAL AS UNDERGROUND EXCEPT NO-HUB TYPE WITH STAINLESS STEEL COUPLINGS. THIS CONTRACTOR MAY USE SCHEDULE 40 PVC FOR SANITARY PIPING IF PERMITTED BY LOCAL AUTHORITIES. THIS CONSTRUCTION SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE USE OF SCHEDULE 40 PVC WITH THE RESPONSIBLE LOCAL AUTHORITIES. PVC SHALL NOT BE USED IN A RETURN AIR PLENUM. VERIFY EXISTING AND/OR NEW CONDITIONS WITH MECHANICAL CONTRACTOR.

**COLD WATER PIPING:** UNDERGROUND PIPING SHALL BE TYPE "K" HARD DRAWN COPPER TUBING WITH BRAZED AND SOLDERED FITTINGS. ABOVE GROUND COLD WATER PIPING SHALL BE TYPE "L" HARD DRAWN COPPER TUBING.

**HOT WATER:** ALL HOT WATER PIPING SHALL BE TYPE "L" HARD DRAWN COPPER TUBING.

**PIPE INSULATION:** ALL HOT AND COLD WATER PIPING SHALL BE INSULATED WITH 1" THICK FIBERGLASS INSULATION WITH JACKET FASTENED WITH FLAIR TYPE STAPLES ON 1" CENTERS. ALL ABOVE GROUND HORIZONTAL STORM WATER PIPING SHALL BE INSULATED WITH 1" FIBERGLASS INSULATION WITH JACKET FASTENED WITH FLAIR STAPLES 1" ON CENTER.

**PLUMBING NOTES:**

1. INSTALLATION SHALL COMPLY WITH ALL LOCAL AND STATE CODES. THIS CONTRACTOR SHALL PAY ALL INSPECTION FEES AND PERMITS.
2. THIS CONTRACTOR SHALL PROVIDE INDIVIDUAL CHROME STOPS AT EACH FIXTURE. ALL EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED.
3. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL LABOR, MATERIALS, & EQUIPMENTS ON FULL YEAR FORM THE DATE OF ACCEPTANCE BY OWNER.
4. THIS CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES.
5. THIS CONTRACTOR SHALL CONNECT ALL WATER LINES TO ALL EQUIPMENT.
6. ALL PIPING SHALL BE PROTECTED FROM FREEZING.
7. VACUUM BREAKERS SHALL BE INSTALLED ON WATER HEATERS INSTALLED ABOVE CEILING.
8. ALL PLUMBING SYSTEMS SHALL BE TESTED AS SPECIFIED IN THE NATIONAL STANDARD PLUMBING CODE, CHAPTER 15, PARAGRAPHS 15.1 THROUGH 15.6 ZW.
9. THE ARCHITECT, OWNER, AND PLUMBING CONTRACTOR ARE TO SELECT PLUMBING FIXTURES UNLESS A FIXTURE SCHEDULE IS INDICATED. ALL FIXTURES SHALL COMPLY TO THE LATEST ENERGY CODE.
10. PLUMBING CONTRACTOR TO INSULATE ALL NEW DOMESTIC WATER PIPING AND ANY EXISTING PIPING DISTURBED DURING NEW CONSTRUCTION.
11. ALL NEW PIPING SHALL BE RUN CONCEALED ABOVE CEILING, WITH CHASES, WALLS OR BELOW EXISTING SLAB UNLESS OTHERWISE NOTED.
12. VISIT THE SITE: VISIT THE SITE AND NOTE ALL EXISTING CONDITIONS AS WELL AS ALL CONDITIONS TO BE MET BEFORE SUBMITTING BID. LACK OF THOROUGH UNDERSTANDING SHALL NOT CONSTITUTE AN EXCUSE FOR ERRORS OR OMISSION, NOR FOR REQUEST OF ADDITIONAL COMPENSATION.
13. PLUMBING CONTRACTOR TO COORDINATE ALL SANITARY AND WASTE PIPING WITH TOWN AND LOCAL UTILITY CO. PLUMBING CONTRACTOR TO CONFORM WITH LOCAL, STATE, B.O.C.A. & UTILITY CO. CODES.
14. CONNECTING TO EXISTING SERVICES: PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO FIELD TRACE AND DETERMINE EXACT CONNECTION POINTS AND REQUIRED INVERTS FOR CONNECTIONS AS INDICATED TO ALL SANITARY SEWER, STORM, AND GAS PIPING. SUCH CONNECTION POINTS AND METHODS SHALL BE DETERMINED BEFORE DOING ANY CHOPPING, TRENCHING, AND PATCHING PROVIDED FOR UNDER CONTRACT.
15. PLUMBING CONTRACTOR TO RUN NEW DWY & CW/HW PIPING TO NEW PLUMBING ITEMS. PROVIDE NEW INDIRECT WASTE AND AIR BREAKERS AS INDICATED IN CHAPTER 9, OF THE NATIONAL PLUMBING CODE.
16. CONTRACTOR SHALL REFER TO ARCHITECT'S BID DOCUMENTS FOR LOCATIONS AND MOUNTING HEIGHTS OF ALL PLUMBING FIXTURES AND OTHER PLUMBING ITEMS.

NO.	DATE	DESCRIPTION	BY:
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**REVISIONS**

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT / ENGINEER FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT / ENGINEER'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND, UNLESS OTHERWISE PROVIDED, THE ARCHITECT / ENGINEER SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT / ENGINEER PRIOR TO THE BEGINNING OF ANY WORK

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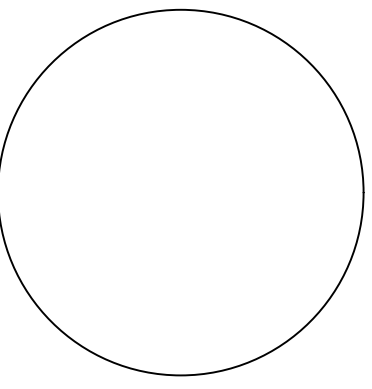
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PROJECT  
**1012 MAIN REALTY LLC**  
 1008-1014 MAIN STREET, BELMAR, NJ

INTERIOR ALTERATIONS TO TWO EXIST. SPACES RECONFIGURING BATHROOMS TO HANDICAP ACCESSORY AND INSTALL BI-FOLD DOORS, PERGOLA, AND NEW STORE FRONTS

**MECHANICAL PLAN / DETAILS**

SEAL & SIGNATURE:  	DATE:	
	PROJECT No:	
	DRAWING BY:	
	CHK BY: S.R.S.	
	DWG No:	<b>N-001.00</b>
CAD FILE No:		5 OF