

SECOND FLOOR ADDITION AT 900 OCEAN AVENUE CONDOMINIUM 1 BELMAR, N.J. 07719

1. GENERAL REQUIREMENTS

1. THIS PROJECT SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE LATEST EDITIONS OF THE CODES LISTED THE DRAWINGS AND ANY OTHER CODES HAVING JURISDICTION. CONTRACTOR SHALL VERIFY ALL REQUIREMENTS OF THE CODES AND SPECIFICATIONS AND REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

2. DETAILS AND SECTIONS ON DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS ARE TREATED SIMILAR. MODIFICATIONS ARE TO BE MADE BY THE CONTRACTOR TO ACCOMMODATE VARIOUS CONDITIONS AND PROTECT ALL SERVICE LINES AND EXISTING SITE FEATURES FROM DAMAGE.

4. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.

5. CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS.

6. CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING. WRITTEN INSTRUCTIONS SHALL BE OBTAINED FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS FOR WHICH NOTIFICATION AS INDICATED ABOVE WAS NOT GIVEN.

7. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS IN THE FIELD.

8. CONTRACTORS SHALL KEEP THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT THE WORK FROM DAMAGE, SOLING, AND ETC.

9. THE CONTRACTOR IS RESPONSIBLE FOR AND SHALL VERIFY EXISTING CONDITIONS AND REVIEW THESE CONDITIONS WITH THE PLANS BEFORE, DURING AND AFTER CONSTRUCTION, AND ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING IMMEDIATELY. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE FAILURE TO PERFORM ANY AND ALL REMEDIAL WORK THAT MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.

10. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY IN LOCATING ANY UTILITIES AND THE STAKING OUT OF THE PROPOSED DECK, ADDITION, OR ANY OTHER SITE WORK INDICATED ON THE PROPOSED DRAWINGS. IF THERE ARE ANY DISCREPANCIES, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN WRITING IMMEDIATELY. FAILURE TO PROVIDE SUCH NOTICE SHALL OBLIGATE THE CONTRACTOR TO PERFORM ANY AND ALL REMEDIAL WORK THAT MAY BE REQUIRED AT NO ADDITIONAL COST TO THE CONTRACTOR AND CLIENT SHALL BE RESPONSIBLE IN OBTAINING ANY SOIL BORING TESTS PRIOR TO CONSTRUCTION IF NEEDED.

12. IN THE EVENT THAT THE SOIL/SITE CONDITIONS DO NOT MEET CONSTRUCTABILITY STANDARDS, THE PROJECT SHALL BE HALTED IMMEDIATELY. THE CONTRACTOR MUST THEN NOTIFY THE CLIENT AND ARCHITECT IN WRITING OF THE SITE CONDITIONS PRIOR TO ANY REMEDIAL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES TO PERFORM ANY AND ALL REMEDIAL WORK THAT MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
4. ALL STUD WALLS SHALL BE FRAMED W/2" X 4 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.

5. HANGERS, FRAMING ANCHORS AND FASTENERS: TYPE AND SPECIFICATIONS AS INDICATED ON THE DRAWINGS. ALL REQUIRED STUD WALLS AND PARTITIONS SHALL BE FINISHED BY THE MANUFACTURER FOR THE SPECIFIC USE. FINISHING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. "TECO" "TRIMFAST" "SWIPSON" OR "ARTCOR" CONFORMING TO THE REQUIREMENTS INDICATED SHALL BE PROVIDED. ALL ANCHORS AND HANGERS SHALL BE GALVANIZED UNLESS OTHERWISE NOTED. ON THE DRAWINGS.

7. ALL HEADERS AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS:
SPANS UP TO 4'-0" (2) 2 X 6 S
SPANS 4'-0" TO 6'-0" (2) 2 X 8 S
SPANS 6'-0" TO 9'-0" (2) 2 X 10 S
8. ROOF VALLEY FLASHING SHALL BE PROVIDED AT INTERIOR AND EXTERIOR ROOF FLASHING TO BE 3/4" T. AND G. PLYWOOD 11. WALL SHEATING TO BE MIN. 1/2" EXTERIOR GRADE

5. THERMAL AND MOISTURE PROTECTION

1. THE FOLLOWING SPECIFICATIONS SHALL GOVERN WITH MODIFICATIONS AS SPECIFIED HEREIN:
2. AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS (ASHRAE) 90.1-2010 REQUIREMENTS, "ARCHITECTURAL SHEET METAL MANUAL" BY SMACNA.
3. ALUMINUM FLASHING SHALL CONFORM TO ASTM A-209 AND BE MIN. 0.016" THICK STANDARD BUILDING SHEET WITH PLAIN FINISH.
4. GALVANIZED STEEL FLASHING SHALL CONFORM TO ASTM A-526 20# COPPER, 26 GA. (0.0173) ASTM A-525, DESIGNATION G-90 5. PROVIDE AND INSTALL FLASHING AT ALL ROOF TO WALL CONDITIONS. PROJECTIONS OF WOOD BEAMS THROUGH EXTERIOR WALLS, EXTERIOR OPENINGS AND ELSEWHERE AS REQUIRED TO PROVIDE WATER/TIGHT/WEATHERPROOF PERFORMANCE.
6. ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN 16 GA. GALVANIZED STEEL GAUGE. CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT ALL ROOF TO WALL CONDITIONS. CENTER LINE AND SHALL HAVE THE FLOW LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4".
7. COMPOSITE SHINGLES SHALL BE FASTENED ACCORDING TO MANUFACTURER'S PRINTED INSTRUCTIONS BUT NOT LESS THAN 4 NAILS PER EACH SHINGLE. SHINGLE NOT MORE THAN 36" WIDE AND 48" LONG. SHINGLES SHALL BE FASTENED TO THE DECK OR SUBSTRATE WITH AN UNDERLAYMENT OF NOT LESS THAN 15 LB. ASPHALT FELT. COMPOSITE SHINGLES SHALL NOT BE USED ON SLOPES LESS THAN 4 TO 12.
8. ENCLOSED ATTIC SPACES AND ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE. PROVIDE MINIMUM REQUIRED NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE SPACE VENTILATED. EXCEPT THAT THE MIN. AREA SHALL BE REDUCED TO 1/300 PROVIDED THAT A VAPOR RETARDER HAVING A PERMEANCE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING, OR AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED. PROVIDE 1/2" MIN. CLEARANCE BETWEEN THE SPACE TO BE VENTILATED AT LEAST ABOVE EAVE OR CORNICE VENTS, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
9. PROVIDE AND INSTALL RAFT FACED FIBERGLASS BATT INSULATION FOR SLOPED ROOFS, SORTIES, ETC. REFER TO WALL SECTION FOR SPECIFIC DETAILS.
10. FILL WINDOW SHIM SPACES WITH FIBERGLASS INSULATION. MECHANICAL/ ELECTRICAL SERVICES, LEAVE NO GAPS OR VOIDS.
12. INSTALL TYPE 15 ASPHALT FELT OR APPROVED EQUAL PER U.L.I. 13. PROVIDE AND INSTALL EXTERIOR SHIMMING AT ALL EXTERIOR SHIMMING OVERLAP EACH COURSE 2" MIN. AT HORIZONTAL JOINTS AND 6" MIN. AT VERTICAL JOINTS.
13. PROVIDE SEALANTS AND GASKETING MEETING APPLICABLE SPECIFICATIONS WHERE REQUIRED TO PROVIDE A POSITIVE BARRIER AGAINST MOISTURE AND AIR INFILTRATION.
6. DOORS, WINDOWS AND GLASS
1. REFERENCE STANDARDS FOR DOORS AND WINDOWS SHALL BE AS FOLLOWS:
- UNDERWRITERS LABORATORIES INC.-BUILDING MATERIALS DIRECTORY
- NATIONAL FIRE PROTECTION ASSOCIATION PAMPHLET NO.80
- NATIONAL WOODWORK MANUFACTURERS I.S. 1078
- WOOD FLASH DOORS
- ASTM E-283 AND E-331.
2. ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHERSTRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION. STANDARDS OF ASTM E-283 AND E-331. WINDOW PRESSURE DIFFERENTIAL OF 1.57 PSF AND SHALL BE CERTIFIED AND LABELED.
7. FINISHES
1. PROVIDE AND INSTALL GYPSUM WALLBOARD IN CONFORMANCE WITH "AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD."

CONSTRUCTION CODE ANALYSIS

ALL WORK SHALL BE DESIGNED AND COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES:
2018 ICC INTERNATIONAL BUILDING CODE-NJ ED.
2018 INTERNATIONAL RESIDENTIAL CODE-NJ ED.
2018 PHCC NATIONAL STANDARD PLUMBING CODE
2018 ICC INTERNATIONAL MECHANICAL CODE
2018 ICC INTERNATIONAL ENERGY CONSERVATION
2017 NATIONAL ELECTRICAL CODE
2017 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704
2017 NATIONAL ACCESSIBILITY CODE
2017 NATIONAL ELECTRICAL CODE
2017 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704
2017 NATIONAL ACCESSIBILITY CODE

BUILDING USE GROUP

R-5

CONSTRUCTION CLASSIFICATION

5B

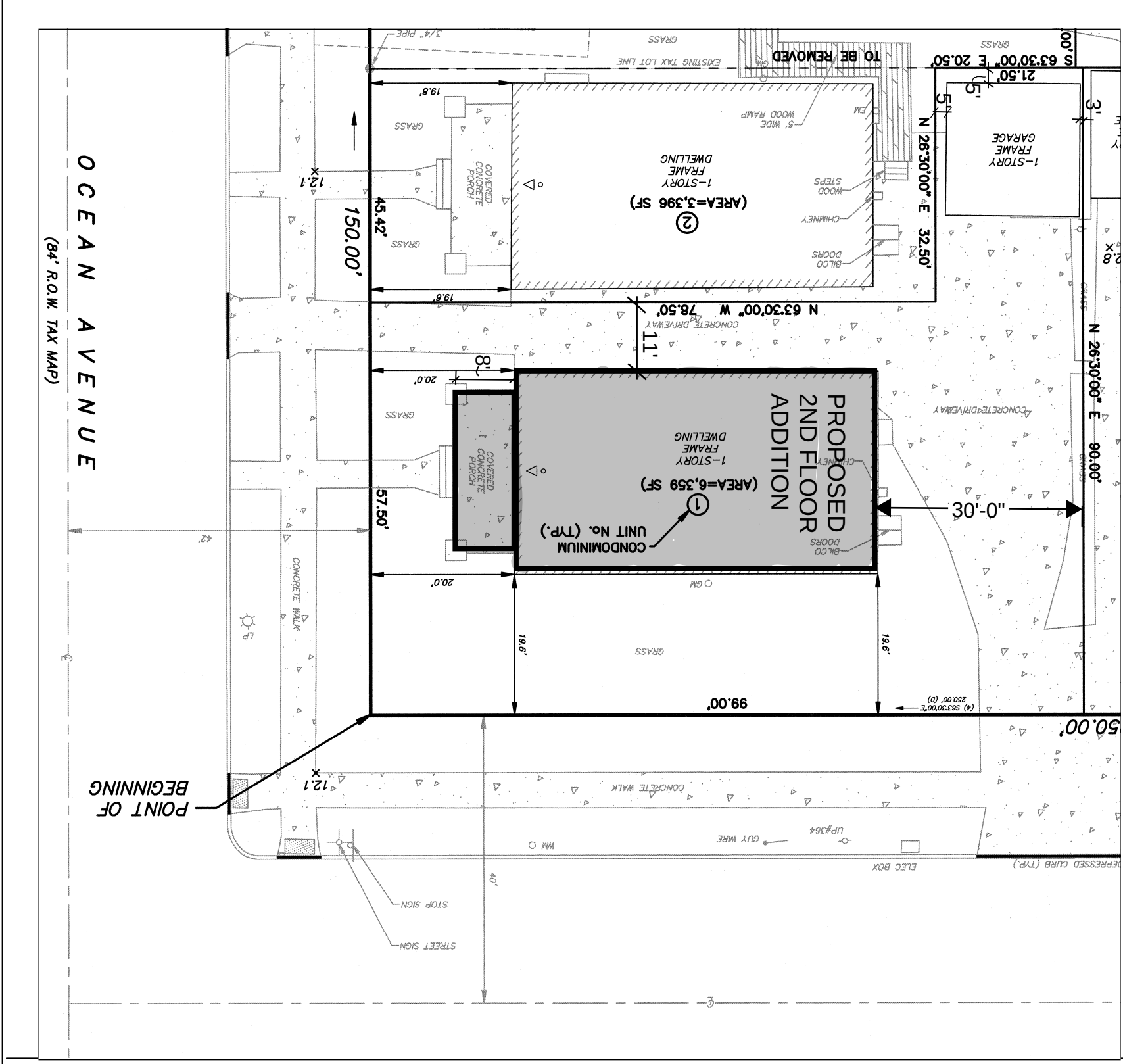
ZONING INFORMATION

ZONED R 75 RESIDENTIAL SINGLE FAMILY
LOT SQUARE FOOTAGE = 6,359 SF
HOUSE FOOTPRINT: 1,652 SF
GARAGE FOOTPRINT: 1,440 SF
DRIVEWAY FOOTPRINT: 2,367 SF

R 75 ZONE CRITERIA

	REQUIRED	EXISTING	VARIANCE	PROPOSED	VARIANCE
AREA CORNER LOT	9,000 SQ FT	6,359 SQ FT	NO	6,359 SQ FT	NO **
FRONTAGE CORNER LOT	60 FT	57.5 FT	NO	57.5 FT	NO **
PRINCIPAL BUILDING					
FRONT YARD SETBACK OCEAN AVE	20 FT	20 FT	NO	20 FT	NO
FRONT YARD SETBACK 9TH AVE	20 FT	19.6 FT.	YES	19.6 FT.	YES *
SIDE YARD	5 FT	11 FT	NO	11 FT	NO
TOTAL 2 SIDES	NA				
REAR YARD	40 FT	40 FT	YES	40 FT	NO **
LOT SHAPE (D/A)	30 FT	NA	NA	NA	NA
BUILDING HEIGHT (MAX)	35 FT / 2 1/2 STORIES	14' / 1 STORY	NO	28 FT / 2 1/2 STORIES	NO
FLOOR AREA RATIO (MAX)	55%	22%	NO	36%	YES *
LOT COVERAGE (MAX)	50%	62%	YES	62%	YES *
BUILDING COVERAGE(MAX)	25%	25%	NO	25%	NO
OFF- STREET PARKING SINGLE FAM DETACHED/ 2 FAMILY 4 OR MORE BEDROOMS- EXHIBIT 40-9-1	3 SPACES	5 SPACES	NO	5 SPACES	NO
ACCESSORY STRUCTURE					
REAR YARD	3'	5'	NO	5'	NO
SIDE YARD	3'	3'	NO	3'	NO
BUILDING HEIGHT (MAX)	18 / 1 STORY	15'	NO	15'	NO

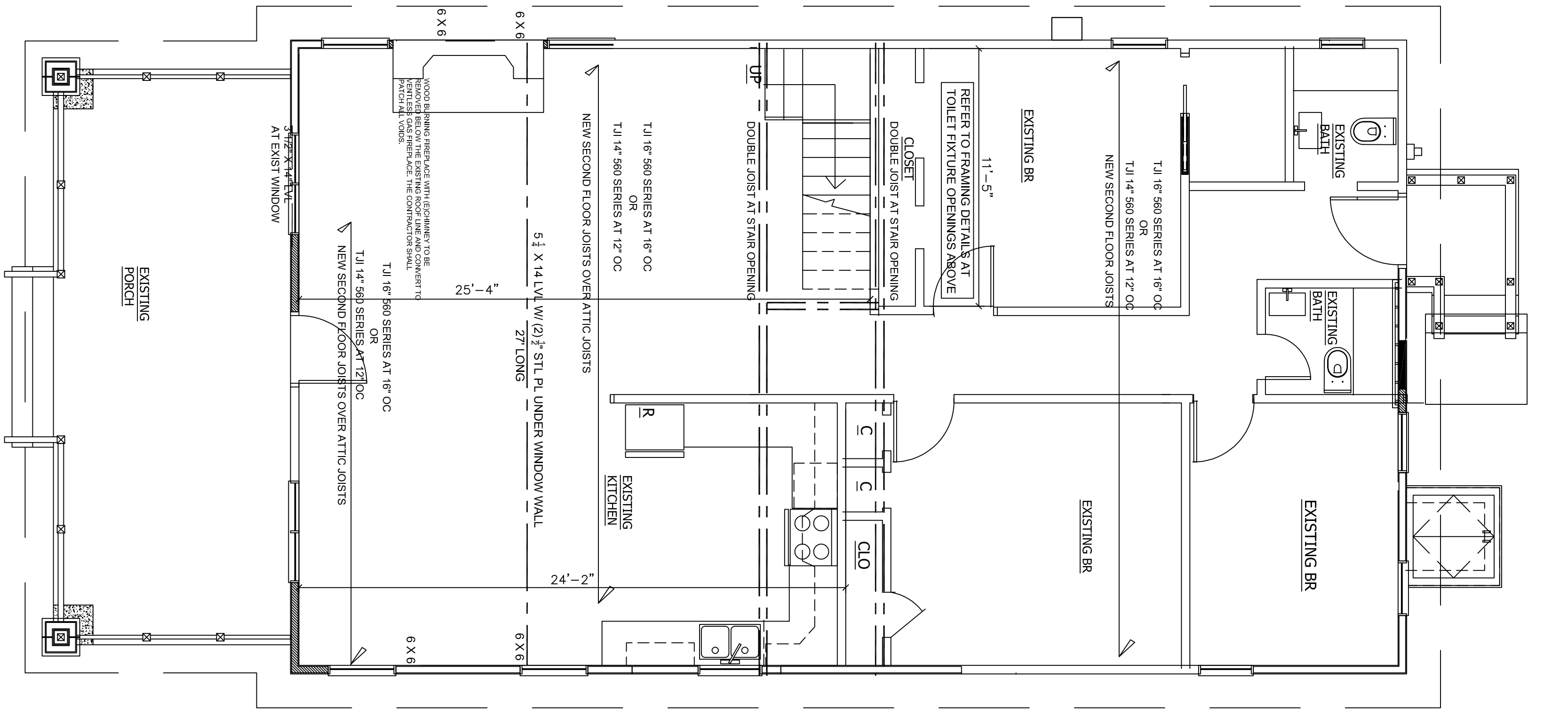
USE VARIANCE REQUIRED FOR EXPANSION OF A PRE-EXISTING NON-CONFORMING USE.



INFORMATION FOR THIS SURVEY TAKEN FROM:
MASTER CONSULTING 331 NEWMAN SPRINGS ROAD
RED BANK, NJ DATED LAST REV 8-12-16
PLOT PLAN
SCALE: NO SCALE
10/23/2020 For Zoning Board
8/31/2020

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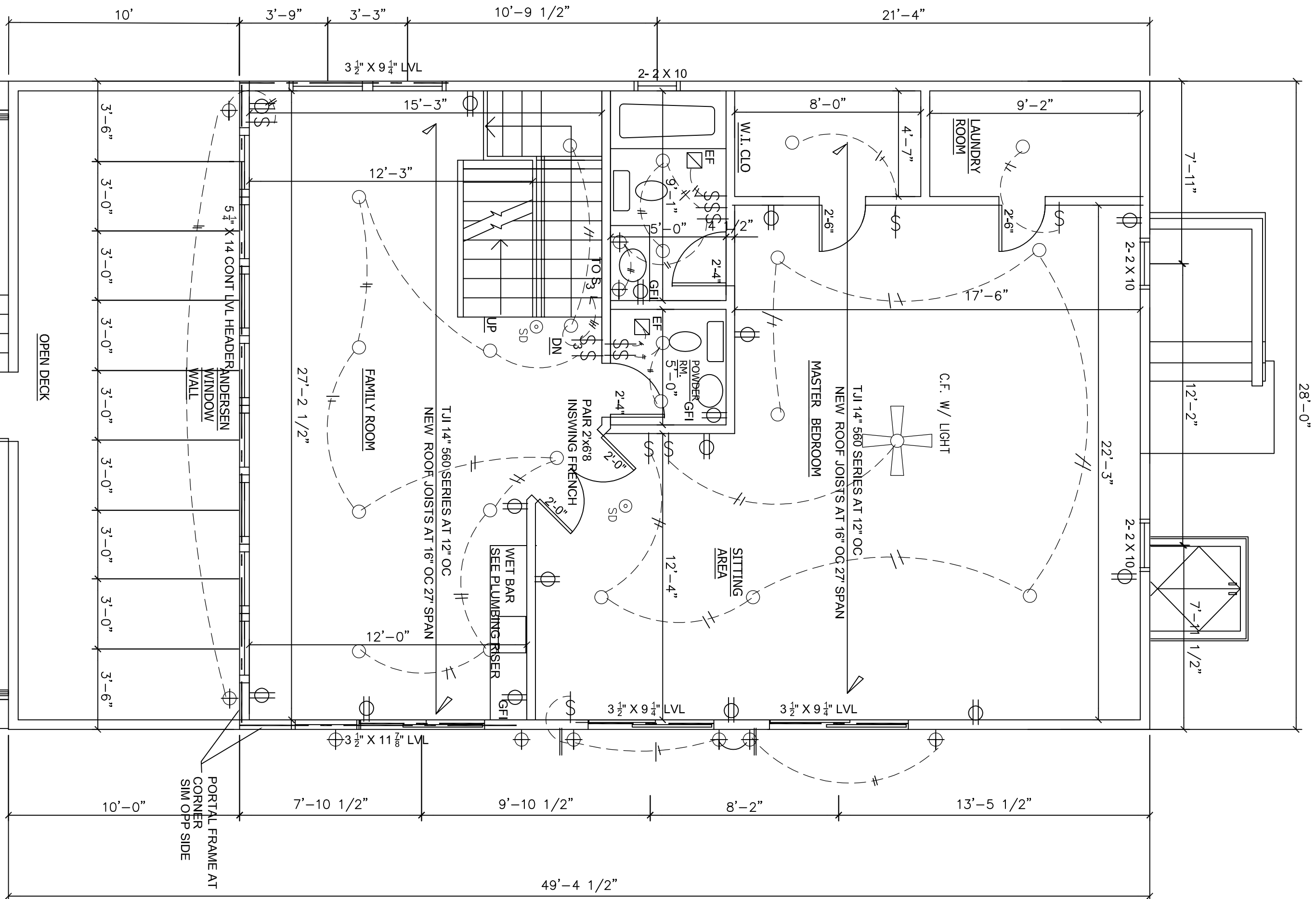
PROJECT NAME
Second Floor Addition at
900 Ocean Avenue
Belmar, NJ
PROJECT NUMBER
SA-20-19
SCALE
AS NOTED
DRAWING NAME
TITLE SHEET
DRAWING NUMBER
NOV 19



1 FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

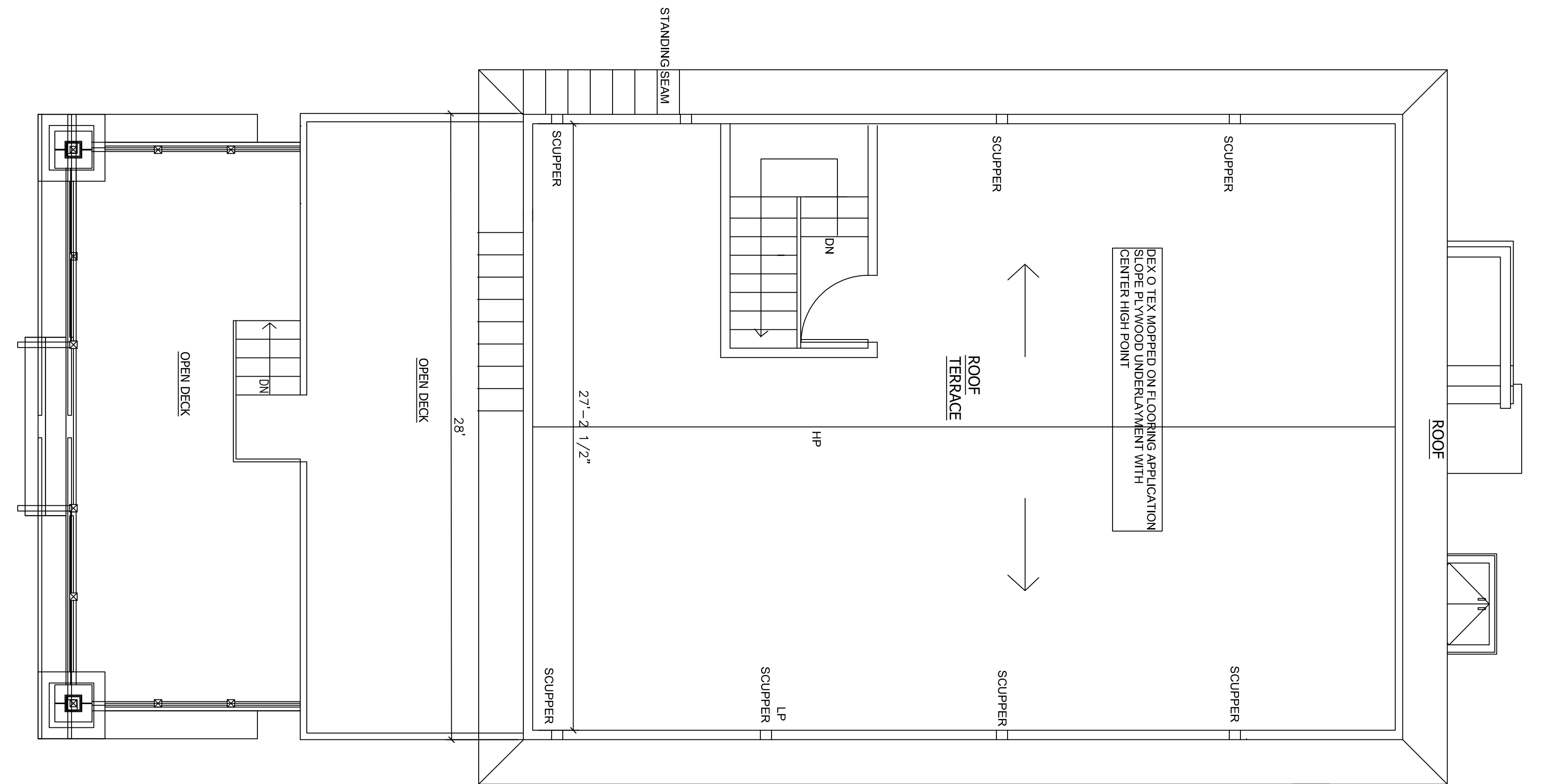
- (1) ALL NEW WOOD SILL PLATES MAKING SLAB CONTACT SHALL BE PRESSURE-TREATED LUMBER.
- (2) SHALL NOT BE HELD RESPONSIBLE FOR ITEMS WHICH ARE CONCEALED AND NOT VISIBLE.
- (3) THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR CODE DEFICIENCIES IN ANY CONCEALED SPACES. FIREBLOCKING SHALL BE INSTALLED IN THE PARTITIONS TO MEET THE LATEST CODES.
- (4) THE GENERAL CONTRACTOR PERFORMING THE WORK SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CODE DEFICIENCIES ARE EVIDENT.
- (5) PRIOR TO ANY NEW WIRING THE GENERAL CONTRACTOR SHALL VERIFY THAT THE EXISTING SERVICE IS ADEQUATE TO ACCEPT FURTHER MODIFICATIONS.
- (6) THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SUPERVISION OF CONSTRUCTION.
- (7) THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ZONING REQUIREMENTS FOR THIS ALTERATION.
- (8) ALL HVAC WORK SHALL BE PERFORMED BY A LICENSED DESIGN BUILD CONTRACTOR. INSTALL ALL CODE REQUIRED SUPPLY AND RETURN REGISTERS IN THE BASEMENT.
- (9) FOR SERPICO ARCHITECT THIS IS A LIMITED SCOPE CONTRACT TO SOLEY INCLUDE MINOR ALTERATIONS PRIOR TO THE KITCHEN CABINETRY PHASE. ALL CABINETRY, STONE ISLAND TOPS, COUNTERS, PLUMBING, ELECTRICAL AND LIGHTING OTHER THAN THE NOTED LED INSTALL SHALL BE UNDER A SEPARATE CONTRACT. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ANY NEWLY SUPERIMPOSED FLOOR LOADING RESULTING FROM CHANGES IN COUNTER AND ISLAND STONE.



2 SECOND FLOOR PLAN
1/4" = 1'-0"

LEGEND

- | | | |
|--------|--|-------------------|
| --- | EXISTING PARTITION TO BE REMOVED | SWITCH |
| ===== | NEW WOOD STUD PARTITION | THREE WAY SWITCH |
| XXXXXX | NEW CMU FOUNDATION WALL | FOUR WAY SWITCH |
| ⊕ | WEATHERPROOF EXTERIOR FIXTURE | 115V RECEPTACLE |
| ○ | INCANDESCENT DOWNLIGHT | 60V RECEPTACLE |
| ⊙ | CARBON MONOXIDE DETECTOR / ALARM W/ A BATTERY BACKUP. | DEDICATED CIRCUIT |
| ⊙ | TO ELECTRIC PANEL ON SEPARATE CIRCUIT | |
| ⊙ | SMOKE DETECTOR / ALARM, HARDWIRED CONNECTED TO ELECTRIC PANEL ON A SEPARATE CIRCUIT W/ A BATTERY BACKUP. | |



3 ROOF / TERRACE PLAN
1/4" = 1'-0"

PROPOSED SECOND FLOOR AREA: = 1,389 SF
PROPOSED HABITABLE FLOOR AREA: = 1,103 SF

PLANS

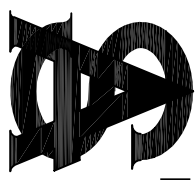
PROJECT NUMBER	SA-20-19
SCALE	AS NOTED
DRAWING NAME	NOV 19
DRAWING NUMBER	A-1

9/1/2020 FOR ZONING BD.

No. Date Issued for

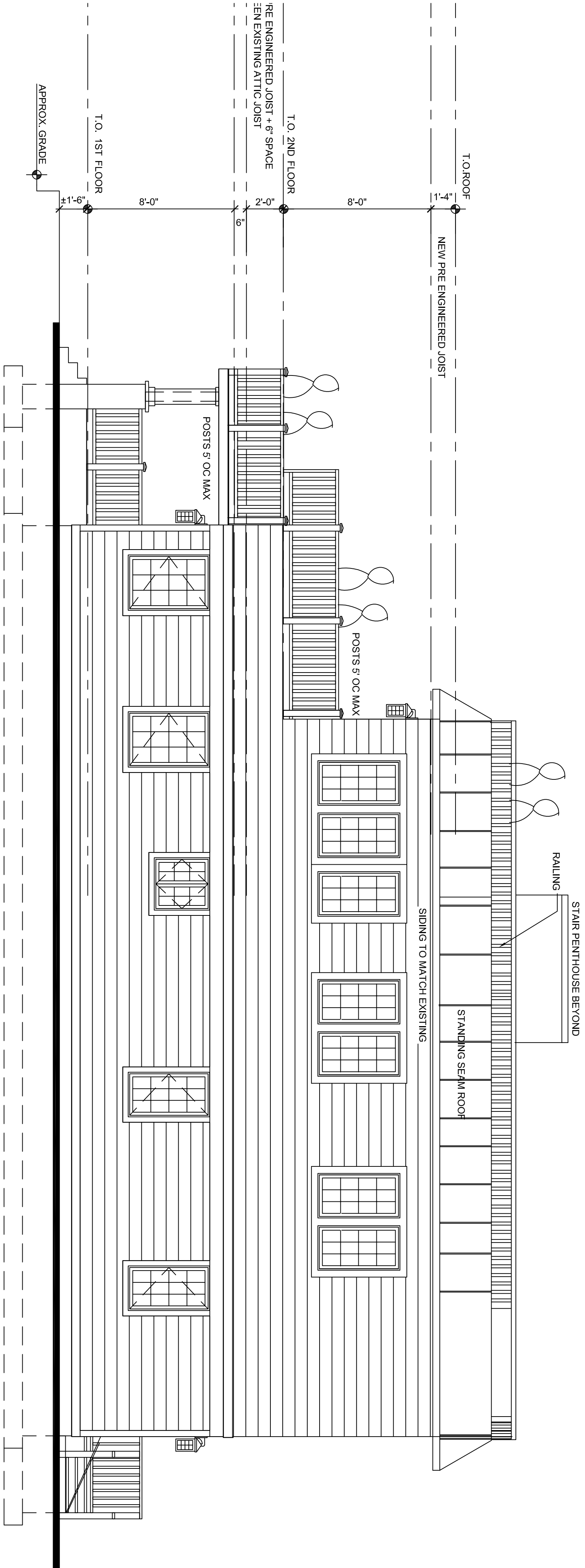
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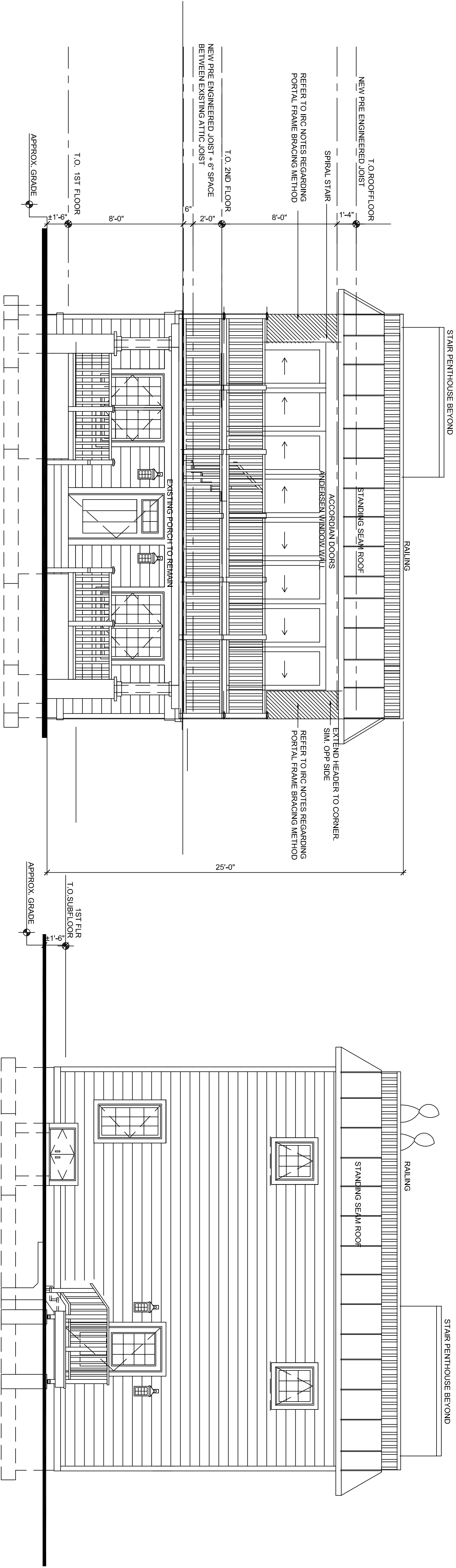


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STUART KOVACS, P.E.
N.J.E # 25854



3 RIGHT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

2 REAR ELEVATION
1/4" = 1'-0"

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9/1/2020 FOR ZONING BD.

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PETER SERPICO, R.A. N.J.13026
Second Floor Addition at
900 Ocean Avenue
Condominium No. 1
Belmar, NJ 07719

PROJECT NUMBER
SA-16-19

SCALE
AS NOTED DATE OCT 19

DRAWING NAME

ELEVATIONS

DRAWING NUMBER

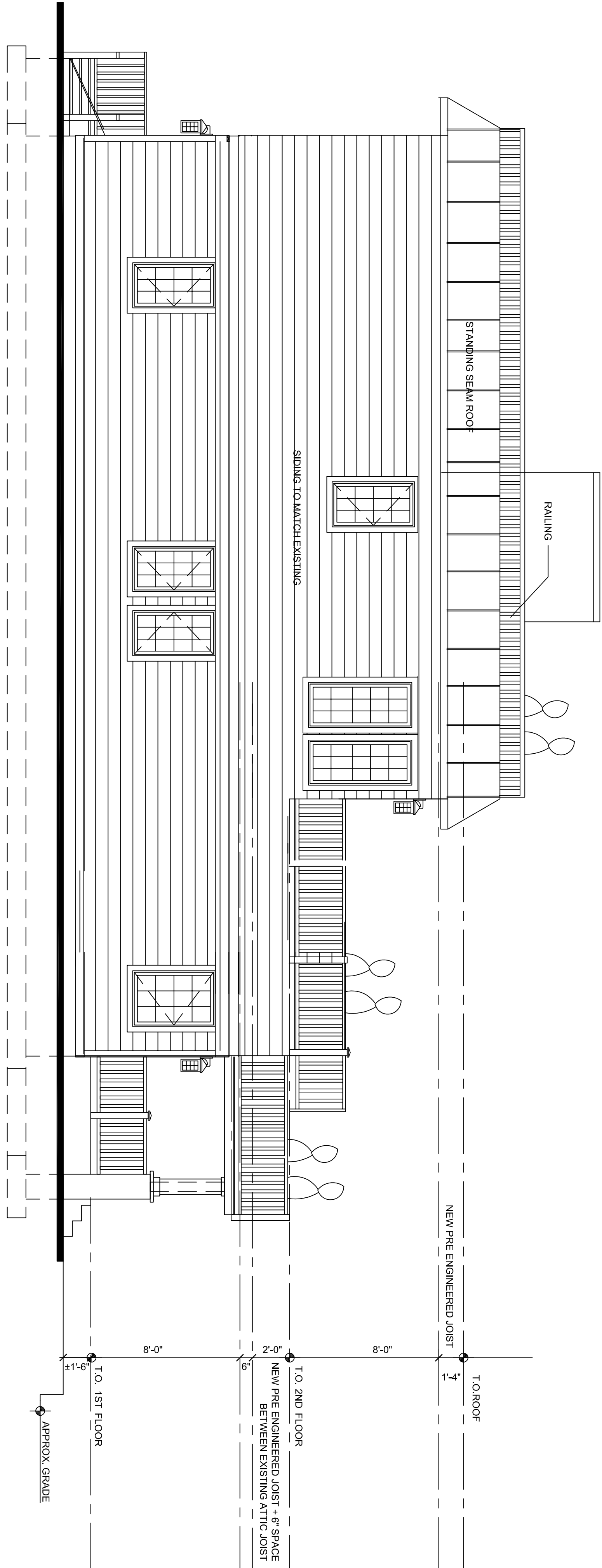
A-2
2 OF 3

LOADING SCHEDULE

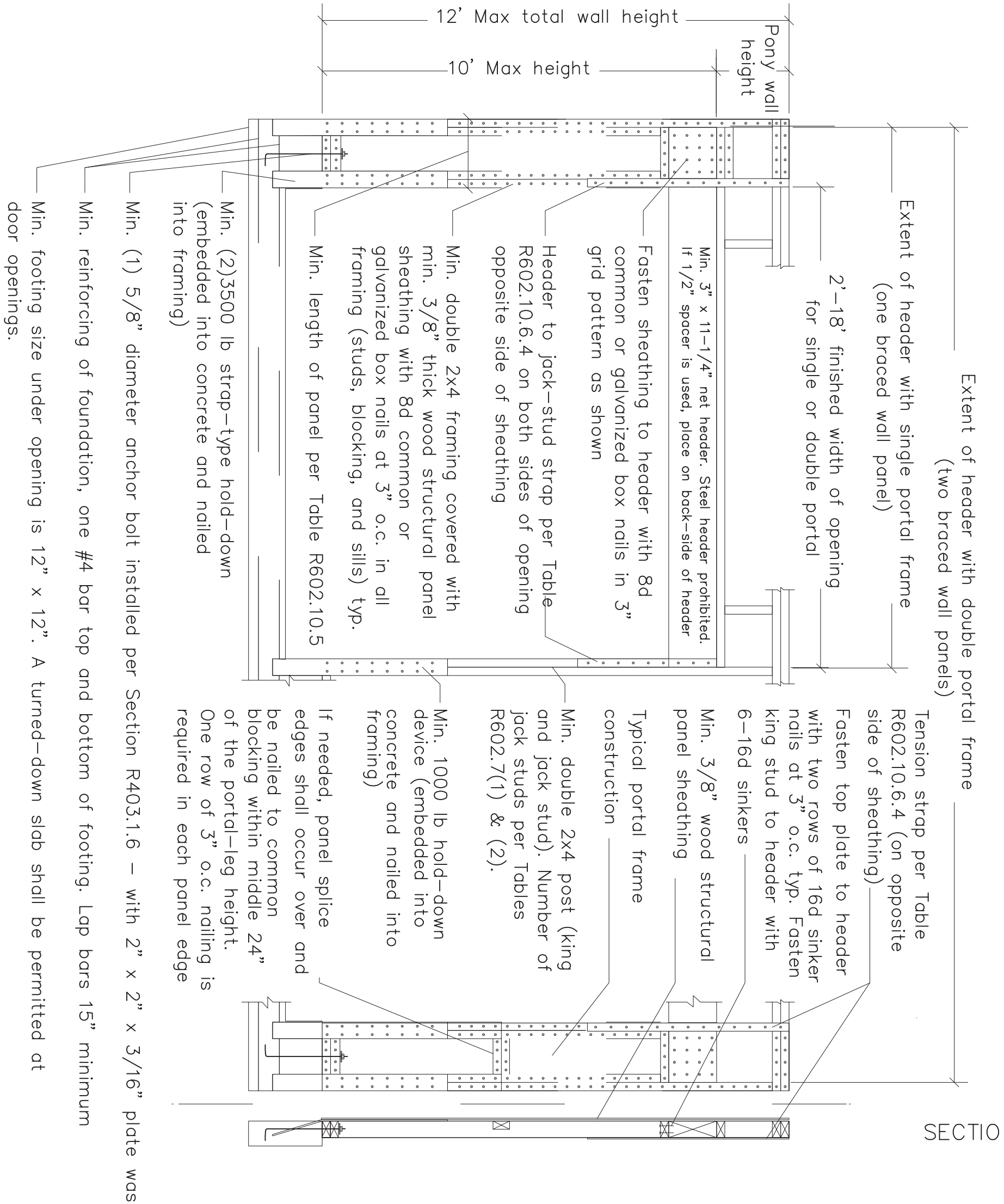
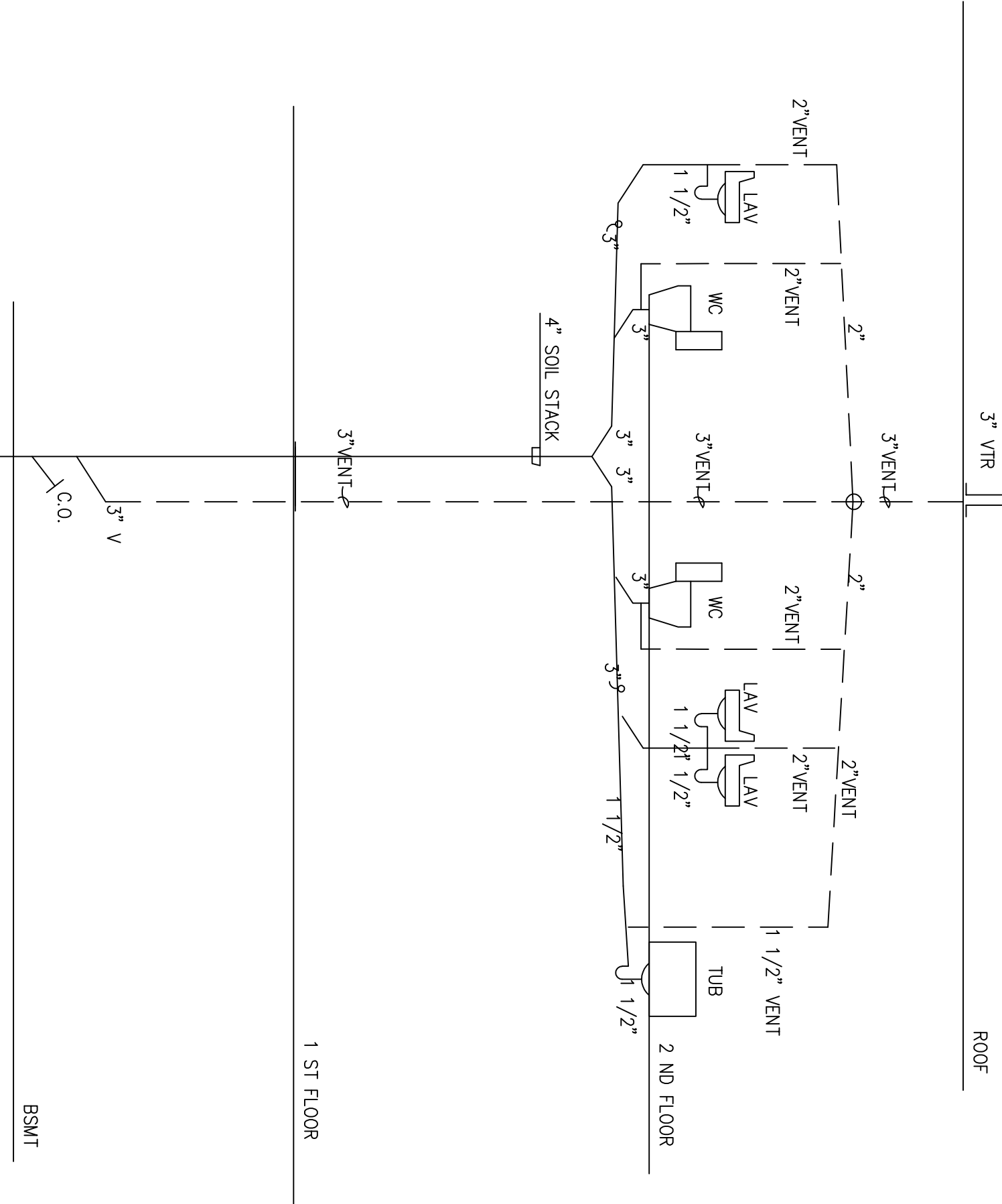
BASIC WIND SPEED - 120 MPH
EXPOSURE - B

ROOF LOADS	
MATERIAL	LOAD(PSF)
LIVE LOAD	40
SHINGLES AND FELT	2.5
5/8" PLYWOOD SHEATHING	2
PRE ENGINEERED JOIST	4.5
COLLATERAL	1
TOTAL	50 PSF

FIRST FLOOR LOADS	
MATERIAL	LOAD(PSF)
LIVE LOAD	40
FIN. FLOORING	2.5
3/4" PLYWOOD SUBFLOOR	2.5
PRE ENGINEERED JOIST	3
COLLATERAL	2
TOTAL	50 PSF



1 LEFT SIDE ELEVATION
1/4" = 1'-0"



2 TYPICAL PORTAL FRAME AT CORNERS
N/S

INTERMITTENT BRACING METHODS	
CS-WISPT MATERIAL: WOOD STRUCTURAL PANEL, MIN. 3/8" THICK	
CONNECTION CRITERIA: 8d COMMON NAILS AT 6" SPACING (PANEL EDGES AND AT 12" SPACING (INT. SUPPORTS) OR 16 GA. X 1/34"	
STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INT. SUPPORTS).	
PPH - INTERMEDIATE PORTAL FRAME AT GARAGE OR WINDOW OPENINGS, SEE FIG. 2508.3.32 IN THE BOTTOM REQUIREMENTS.	

9/1/2020 FOR ZONING BD.

No. Date Issued for

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Second Floor Addition at
900 Ocean Avenue

Condominium No.1
Belmar, NJ 07719

PROJECT NUMBER

SA-16-19

SCALE AS NOTED DATE OCT 19

DRAWING NAME

ELEVATIONS
PLUMBING RISERS

DRAWING NUMBER

A-3

3 OF 3