



1012 MAIN STREET
BELMAR, NJ 07719

GENERAL NOTES

1. THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE NJ UNIFORM CONSTRUCTION CODE INTERNATIONAL BUILDING CODE 2015. THE WORK OF ALL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE ABOVE MENTIONED CODES. DEVIATIONS FROM THE WORK SHOWN, OR REASONABLY IMPLIED, SHALL NOT BE UNDERTAKEN WITHOUT THE ARCHITECT'S WRITTEN CONSENT, A COPY OF WHICH SHALL BE FILED WITH THE CONSTRUCTION OFFICIAL.

2. DATA ON EXISTING CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY OR CONTINUITY OF AS-BUILT CONDITIONS. DATA IS DERIVED FROM FIELD SURVEY AND IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. IF CONDITIONS ARE NOT AS ANTICIPATED OR INDICATED, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION AND/OR INSTRUCTION BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS, THE CONTRACTOR SHALL VERIFY CONDITIONS IN FIELD.

3. DRAWINGS SHALL NOT BE USED FOR ISSUANCE OF A BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ARCHITECT. THE CONTRACTOR SHALL OBTAIN PERMITS AND PAY FOR SAME.

4. CONTRACTOR SHALL VERIFY ALL PERTINENT CONDITIONS, DIMENSIONS AND ELEVATIONS AND REPORT DISCREPANCIES IF ANY, TO THE ARCHITECT FOR RESOLUTION AND ADJUSTMENT DO NOT SCALE DRAWINGS. CONSULT ARCHITECT FOR ANSWERS TO ALL DIMENSIONAL QUESTIONS. ALL PLAN DIMENSIONS ARE NOMINAL AND ARE TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.

5. THE WORK OF ALL TRADES, AS SHOWN OR AS SPECIFIED, SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INCLUDE IN THE WORK, WITHOUT ADDITIONAL COST TO OWNER, ALL LABOR, MATERIALS, SERVICES (INCLUDING TEMPORARY SERVICES AND UTILITIES), APPARATUS DRAWINGS, ETC. IN ORDER TO COMPLY WITH ALL APPLICABLE LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, WHETHER OR NOT SHOWN ON DRAWINGS (AND/OR SPECIFIED). THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, AND PAY ALL TAXES, FEES AND OTHER COSTS RELATING TO THIS WORK.

6. PERFORM ALL CUTTING AND PATCHING BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK, INCLUDING EXISTING CONDITIONS, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OR REPAIR, AS INDICATED, AND NEW WORK. PERFORM FITTING AND ADJUSTMENT OF ALL WORK TO PROVIDE A FINISHED INSTALLATION, REPAIR/REPLACE EXISTING TO REMAIN SURFACES DAMAGED AS A RESULT OF THE NEW WORK.

7. DURING THE HANDLING AND INSTALLATION OF WORK AT THE PROJECT SITE, CLEAN AND PROTECT WORK IN PROGRESS AND ADJOINING WORK ON A BASIS OF PERPETUAL MAINTENANCE. APPLY SUITABLE PROTECTIVE COVERINGS ON NEWLY INSTALLED WORK WHERE REASONABLY REQUIRED TO ENSURE FREEDOM FROM DAMAGE OR DETERIORATION AT THE TIME OF SUBSTANTIAL COMPLETION. CLEAN AND MAINTAIN NEWLY INSTALLED WORK AS FREQUENTLY AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD. DO NOT ALLOW ACCUMULATION OF WASTE MATERIAL, SCRAP OR OTHER DEBRIS NOT REQUIRED FOR CONSTRUCTION OF THIS WORK.

8. THE CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE MADE OUT IN THE NAME OF THE OWNER PRIOR TO COMMENCEMENT OF THE WORK. EACH CONTRACTOR SHALL CARRY PUBLIC LIABILITY, PROPERTY DAMAGE AND FIRE INSURANCE WITH EXTENDED COVERAGE.

9. THE CONTRACT IS BASED UPON MATERIAL, EQUIPMENT AND METHOD INDICATED IN THE CONTRACT DOCUMENTS. THE ARCHITECT WILL CONSIDER PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT AND METHODS ONLY WHEN ACCOMPANIED BY FULL TECHNICAL DATA, INCLUDING AVAILABILITY, AND OTHER INFORMATION THAT MAY BE REQUIRED BY THE ARCHITECT TO EVALUATE THE PROPOSED SUBSTITUTION. SUBSTITUTION FOR THIS WORK IS NOT PERMITTED UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT.

10. THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE AND PREMISES OF WORK PRIOR TO SUBMITTING A BID, AND INFORMED HIMSELF AS TO EXISTING AND INTENDED CONDITIONS. THE CONTRACTOR WARRANTS THAT HE HAS FAMILIARIZED HIMSELF WITH THE DRAWINGS AND SPECIFICATIONS, AND CURRENT MARKET CONDITIONS, AND THAT HE WILL FULFILL THE OWNER'S DESIGN INTENT, WITHOUT RESERVATION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF HIS WORK.

11. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED AT THE REFERENCED SITE ONLY.

12. ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION.

13. CONTRACTOR SHALL COMPLY WITH O.S.H.A. REQUIREMENTS DURING THE ENTIRE CONSTRUCTION PROCESS.

14. CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT THE ARCHITECT FOR ANY CLARIFICATION DRAWINGS OR INFORMATION NEEDED 2 WEEKS PRIOR TO CONSTRUCTION OR ORDERING MATERIALS OF THE SAME.

15. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE IDENTIFICATION OR REMOVAL OF ASBESTOS, TOXIC WASTE, HAZARDOUS MATERIALS OR GASES OF ANY KIND.

16. THE CONTRACTOR SHALL OBTAIN UTILITY COMPANY PERMITS AS REQUIRED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

17. PROVIDE ALL NECESSARY FIRE PROTECTION AND VENTILATION FOR ALL H.V.A.C. EQUIPMENT, APPLIANCES, ETC.

18. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT WORK IN ACCORDANCE WITH THE DRAWINGS OR REQUIRED CODES.

PROJECT INFORMATION

PROPOSED OCCUPANCY TABLE

CLASSIFICATION	DIAGRAM PATTERN	FLOOR AREA	SF / OCCUPANT	CALCULATED OCCUPANCY
COMMERCIAL KITCHEN	[Pattern]	672 SF	200 SF (GROSS)	4
ASSEMBLY AREA WITHOUT FIXED SEATS	[Pattern]	506 SF	15 SF (GROSS)	33
TOTAL CALCULATED OCCUPANCY				37

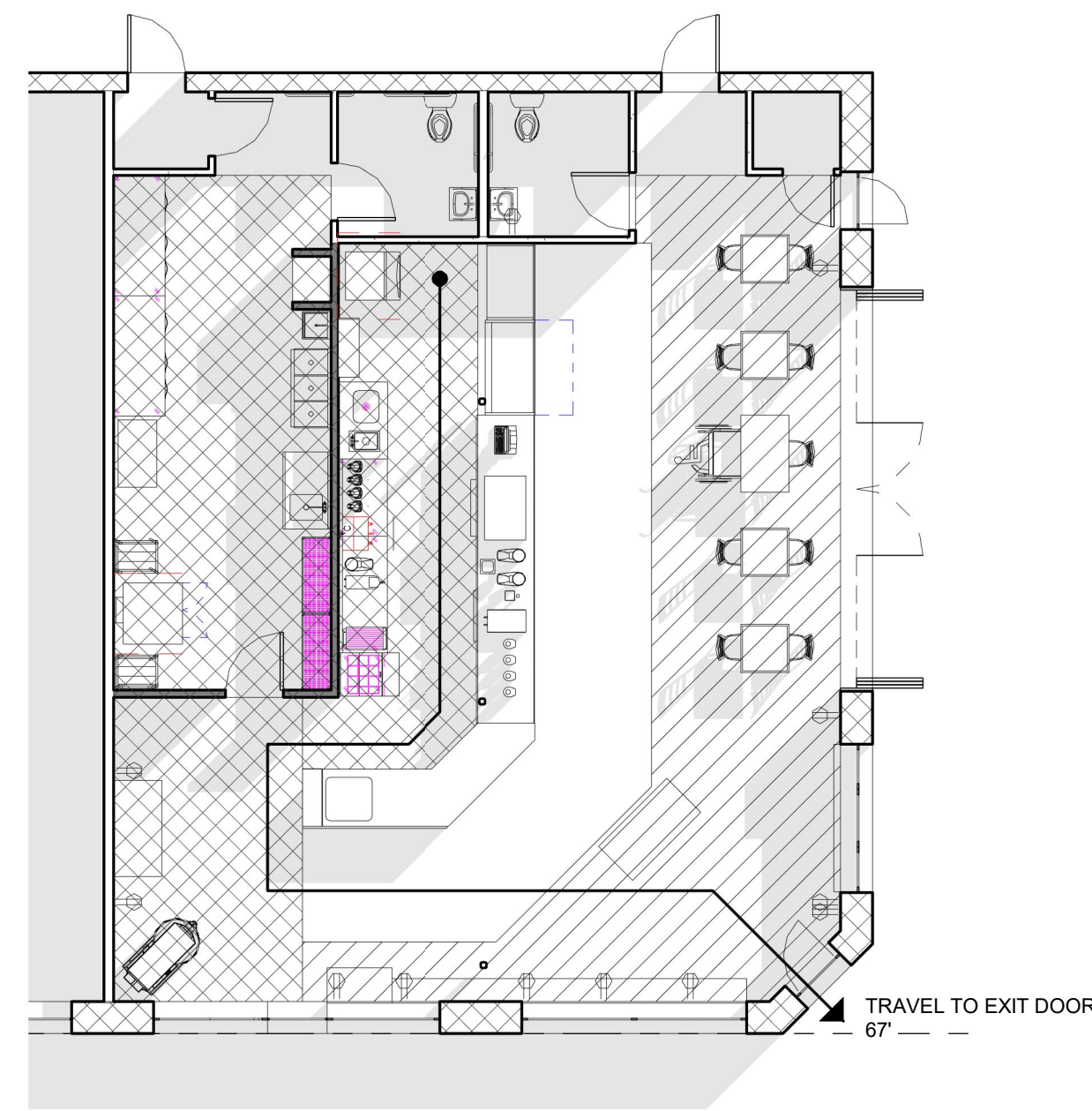
OCCUPANCY LOAD NOTES:
OCCUPANCY LOADS CALCULATED WITH IBC 2018 CRITERIA PER TABLE 1004.1.2 DESIGN CAPACITIES
1. OCCUPANCY TREATED SIMILAR TO INSTITUTIONAL OUTPATIENT OCCUPANCY.
SIMULTANEOUS OCCUPANTS WILL BE LIMITED BY THE NATURE OF THE BUSINESS.

SPACE CHARACTERISTICS

OCCUPANCY GROUP	B (NOTE 1)
OCCUPANCY LOAD	47
FIRE PROTECTION	NOT SPRINKLERED
FIRST FLOOR AREA (NET LEASEABLE)	1982.23 SF
TOTAL AREA	1982.23 SF
TENANT VOLUME	23,786.76 CF

SPACE CHARACTERISTIC NOTES:
1. PROPOSED TENANT SPACE USE CLASSIFIED AS 'B' PER IBC 302 AND 303.1.1
2. REFER TO OCCUPANCY TABLE THIS SHEET

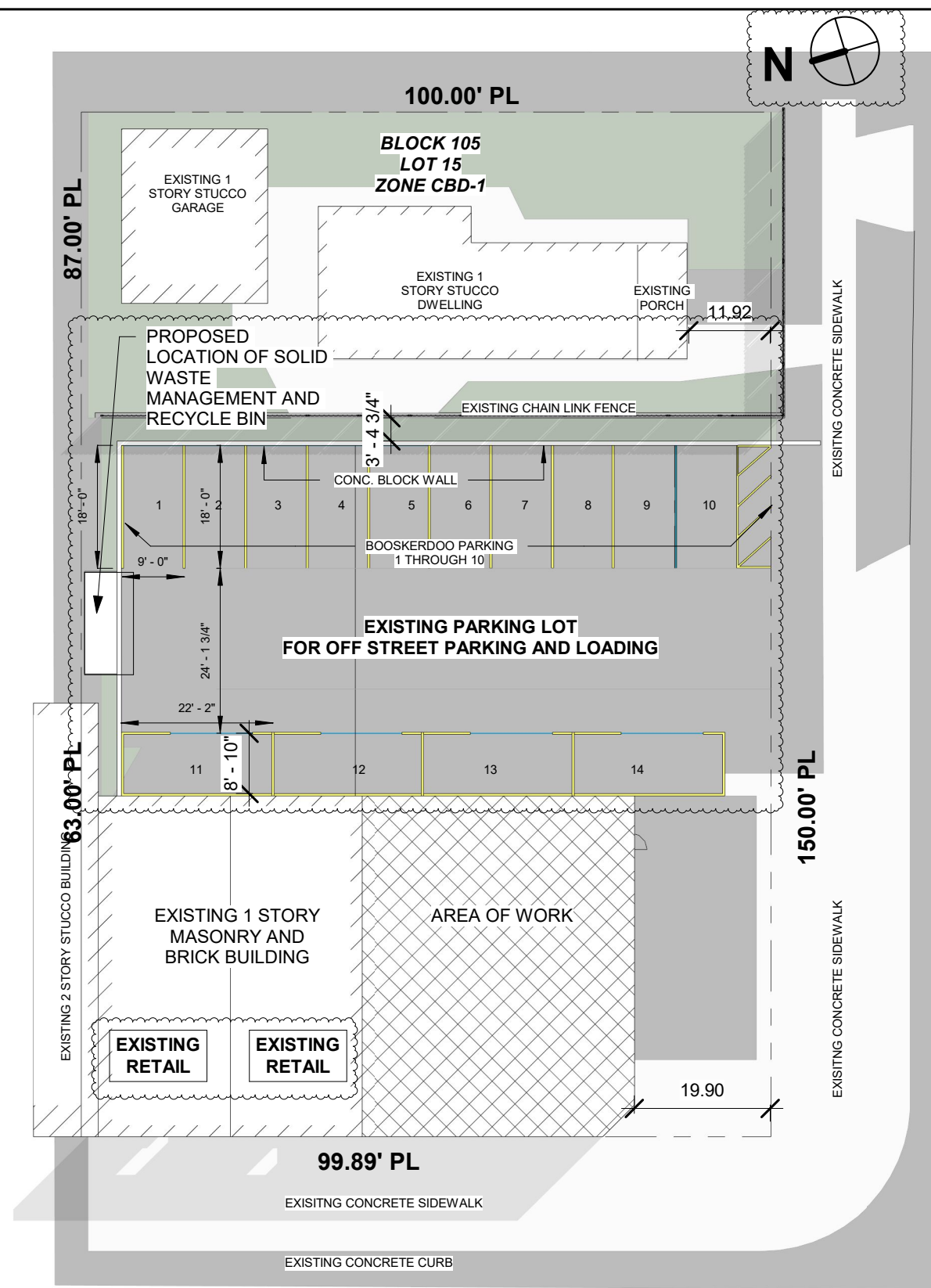
PROPOSED LAYOUT



PARKING CALCULATIONS ZONE: CBD-1 BLOCK: 105 LOT: 15

USE	PARKING PER ORD ¹	GROSS FLOOR AREA	PARKING
RETAIL FOOD ESTABLISHMENT	1/200 GFA	1982 SF	10
TOTAL			10
TOTAL PROVIDED			14

¹Exhibit 45-9-2: Guidelines for Off-Street Parking Requirements For Nonresidential Land Uses



1 SITE PLAN
1" = 20'-0"

SITE PLAN PREPARED PER DRAWING RECEIVED FROM STEVEN R. SAVINO R.A.
12 MACFARLANE CIRCLE, MONROE, NJ, 08831

PROJECT INFO., OCCUPANCY & EGRESS

EGRESS INFORMATION

EGRESS CAPACITIES DESIGNED TO CONFORM WITH THE IBC 2018

PROPOSED TENANT SPACE CALCULATED OCCUPANT LOAD = 37
PROPOSED MINIMUM EGRESS WIDTH = (0.2)(86) = 7.4"
MINIMUM DOOR WIDTH PER 1008.1 = 32"
PROPOSED EGRESS WIDTH PROVIDED EACH = 36", 36", 36"
TOTAL EGRESS WIDTH PROVIDED = 108"

ZONING

CLASSIFIED AS B
PERMITTED CONDITIONAL USE INCLUDES
RETAIL FOOD ESTABLISHMENT - DRIVE-IN/
TAKE OUT RESTAURANT
EXISTING USE RETAIL
PROPOSED USE - RETAIL FOOD
ESTABLISHMENT

PER SCHEDULE 40-5-2B
SCHEDULE OF USES, COMMERCIAL DISTRICTS
BOROUGH OF BELMAR
(SUBSECTION 40-5.1)

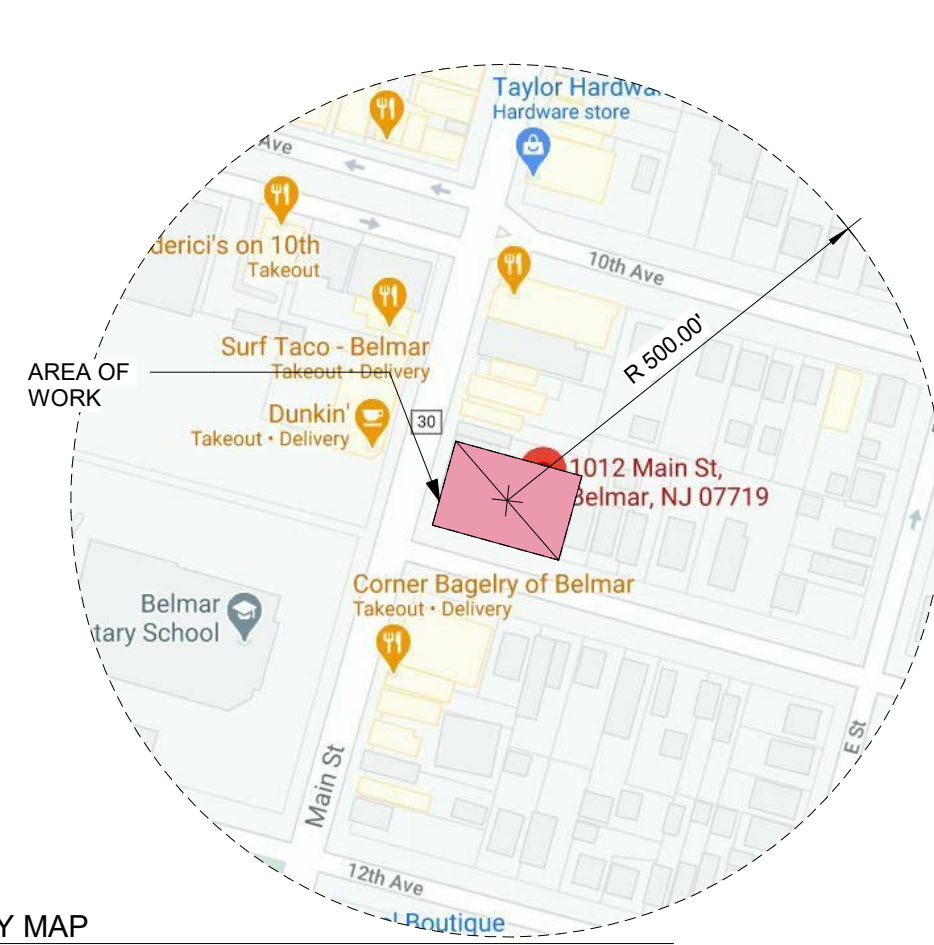
BUILDING CHARACTERISTICS

OCCUPANCY CLASSIFICATION -
CONSTRUCTION CLASSIFICATION - TYPE IIB

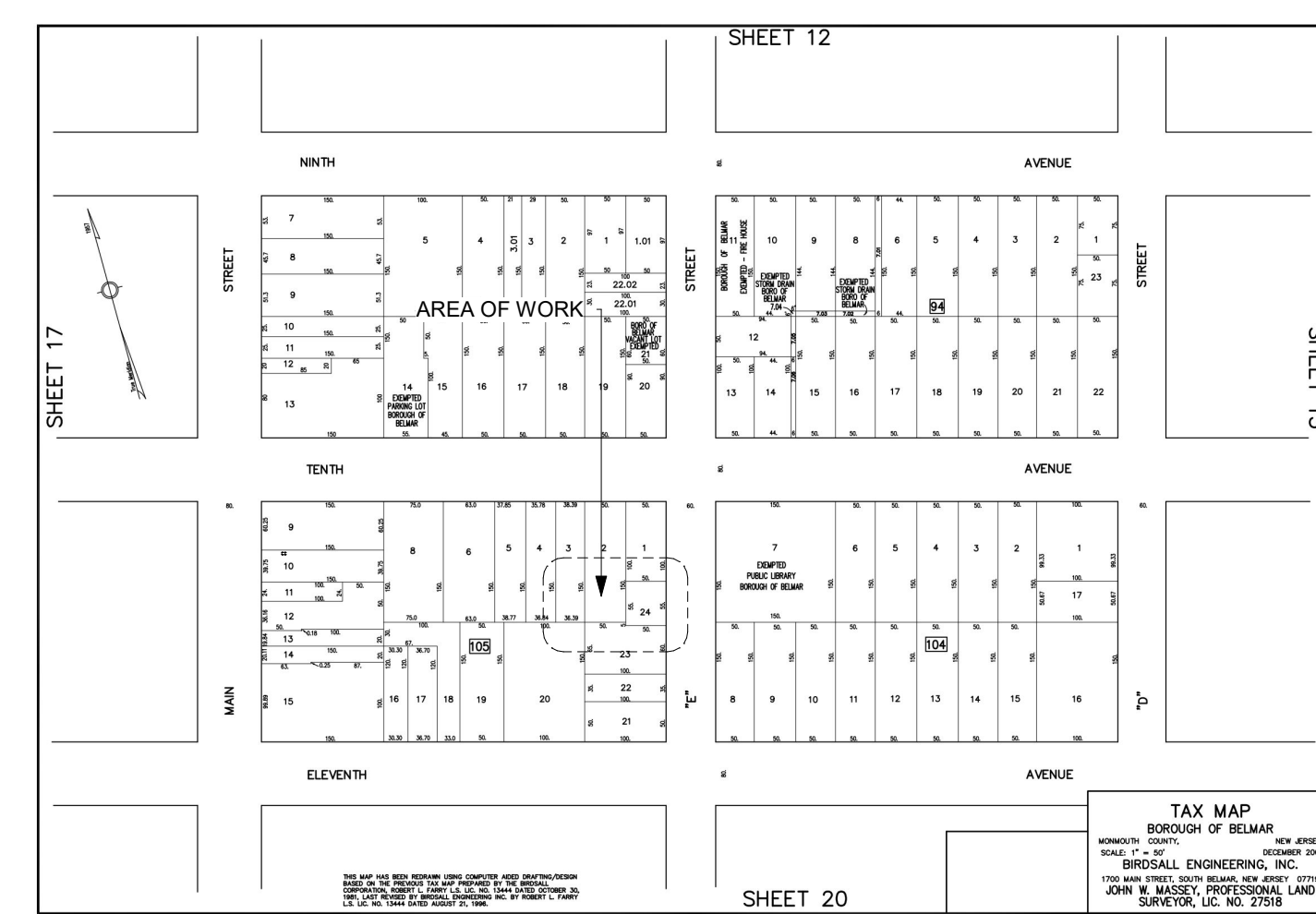
BUILDING CODES

CODES AS ADOPTED BY NJAC 5.23
INTERNATIONAL BUILDING CODE 2018 NJ EDITION,
NATIONAL STANDARD PLUMBING CODE, 2018 NATIONAL ELECTRICAL CODE, (NFPA 70)/2017
NATIONAL ELECTRICAL CODE, (NFPA 70)/2017
INTERNATIONAL ENERGY CONSERVATION CODE - NJ ED, 2018
ASHRAE 90.1-2016,
INTERNATIONAL MECHANICAL CODE, 2018
INTERNATIONAL FUEL GAS CODE, 2018
OTHER REFERENCED I-CODES (IFC/2018; IS/2018; ETC.)
OTHER REFERENCED ICC STANDARDS (ICC/ANSI A117.1-2009; ICC 300-2017; ETC.)
BARRIER FREE SUBCODE ICC/ANSI A117.1-2009

KEY MAP



TAX MAP



ABBREVIATIONS

# POUND OR NUMBER	FEC FIRE EXTINGUISHER CABINET	PNT PAINT OR PAINTED
& AND	FIXT FIXTURE	PVC POLYVINYL CHLORIDE
@ AT	FLR FLOOR	RBR RUBBER
ACT ACOUSTIC CEILING TILE	FM FILLED METAL	RCP REFLECTED CEILING PLAN
AD AREA DRAIN	FD FACE OF	RD ROOF DRAIN
AFF ABOVE FINISHED FLOOR	FND FOUNDATION	REQD REQUIRED
BYND BEYOND	GA GAUGE	RM ROOM
BOT BOTTOM	GALV GALVANIZED	SIM SIMILAR
CIP CAST IN PLACE	GWB GYPSUM WALL BOARD	SPEC SPECIFIED OR SPECIFICATION
CHNL CHANNEL	HC HOLLOW CORE	SPK SPRINKLER OR SPEAKER
CJ CONTROL JOINT	HI HIGH	SSTL STAINLESS STEEL
CLG CEILING	HM HOLLOW METAL	STC SOUND TRANSMISSION
CLR CLEAR	HP HIGH POINT	COEFFICIENT
CMU CONCRETE MASONRY UNIT	HR HOUR	STL STEEL
COL COLUMN	HVAC HEATING, VENTILATING, AND AIR	STRUCT STRUCTURE OR STRUCTURAL
COMPR COMPRESSIBLE	COND CONDITIONING	T&G TONGUE AND GROOVE
CONC CONCRETE	IRGW IMPACT RESISTANT GYPSUM	TEL TELEPHONE
CONT CONTINUOUS	WALL BOARD	TLT TOILET
OPT CARPET	IN LIEU OF	TO TOP OF
CT CERAMIC TILE	INSUL INSULATED OR INSULATION	TOC TOP OF CONCRETE
DBL DOUBLE	INT INTERIOR	TOS TOP OF STEEL
DEMO DEMOLISH OR DEMOLITION	LO LOW	TPD TOILET PAPER DISPENSER
DIA DIAMETER	MAX MAXIMUM	TD TELEPHONE/DATA
DN DOWN	MO MASONRY OPENING	TYP TYPICAL
DR DOOR	MEMBR MEMBRANE	UNO UNLESS NOTED OTHERWISE
DWG DRAWING	MIN MINIMUM	U/S UNDERSIDE
EA EACH	MRGWB MOISTURE-RESISTANT GYPSUM	VIF VERIFY IN FIELD
EJ EXPANSION JOINT	WALL BOARD	W/ WITH
EL ELEVATION	MTL METAL	WD WOOD
ELEC ELECTRICAL	NIC NOT IN CONTRACT	
ELEV ELEVATOR OR ELEVATION	NO NUMBER	
EPDM ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	NOM NOMINAL	
EQ EQUAL	OC ON CENTER	
EXIST EXISTING	OH OPPOSITE HAND	
EXP JT EXPANSION JOINT	OZ OUNCE	
EXT EXTERIOR	PLUMB PLUMBING	
FD FLOOR DRAIN OR FIRE DEPARTMENT	PLYD PLYWOOD	
	PT PRESSURE TREATED	

Sheet List

Sheet Number	Sheet Name
A-1	GENERAL NOTES AND ZONING
A-2	CONSTRUCTION PLAN
A-3	FINISH PLAN AND FINISH SCHEDULE
A-4	REFLECTED CEILING PLAN
A-6	ADA CLEARANCES
A-7	MOUNTING HEIGHTS
A-5	EQUIPMENT PLAN

SIGNATURES

CHAIRMAN	SECRETARY	ENGINEER

CLIENT:
OWNER : 1012
MAIN REALTY LLC,
PO BOX 651,
HOLMDEL, NJ
07733

TENANT:
BOOSKERDOO
COFFEE AND
BAKING COMPANY
PROJECT:
CHANGE OF USE

TAX MAP SHEET -
16 (SEE DWG)
COUNTY -
MONMOUTH
BOROUGH OF
BELMAR
ADDRESS
1012 MAIN STREET
BELMAR,
NJ 07719

REVISIONS:

1	PLANNING REVIEW COMMENTS	01.19.2021
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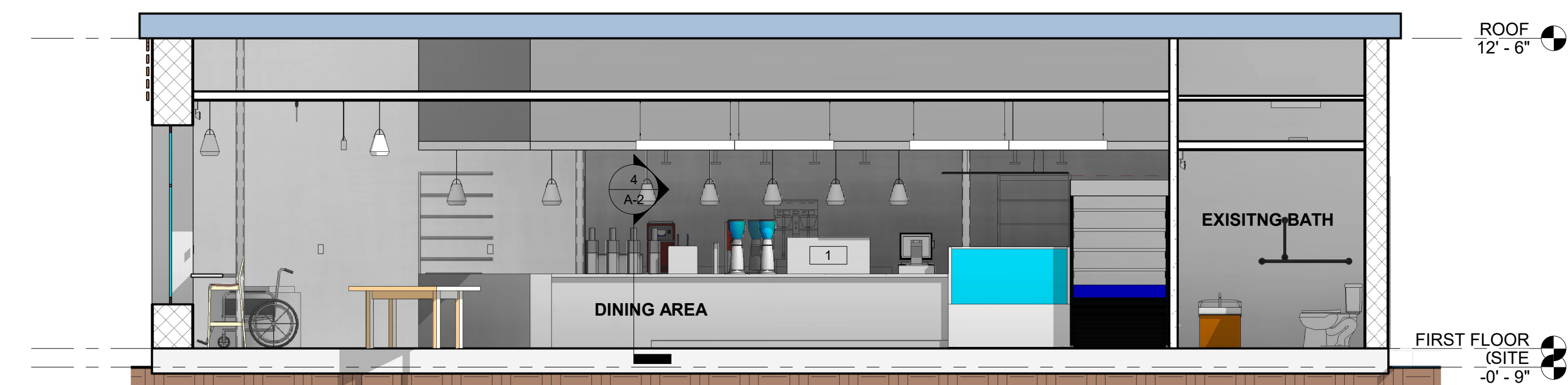
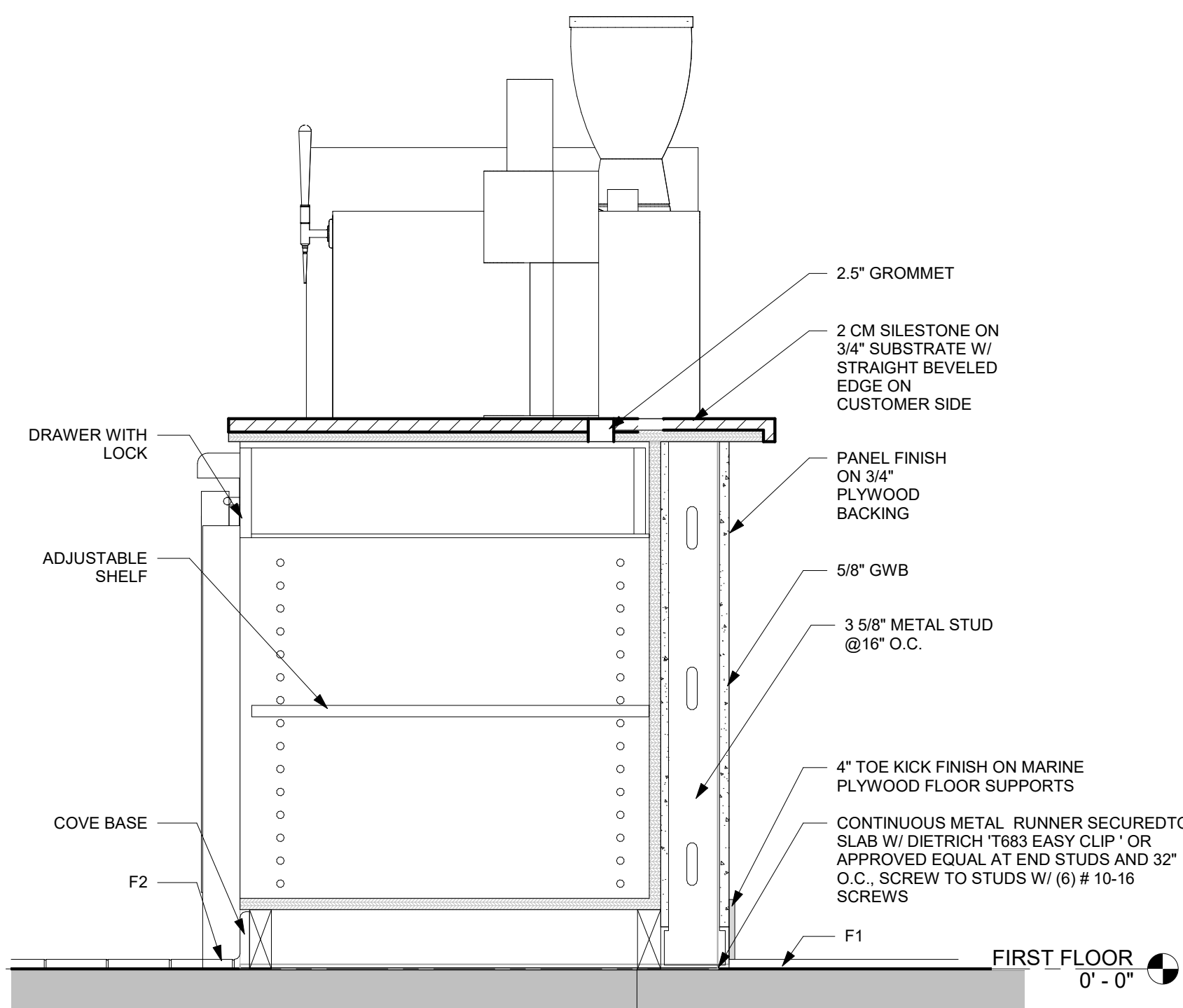
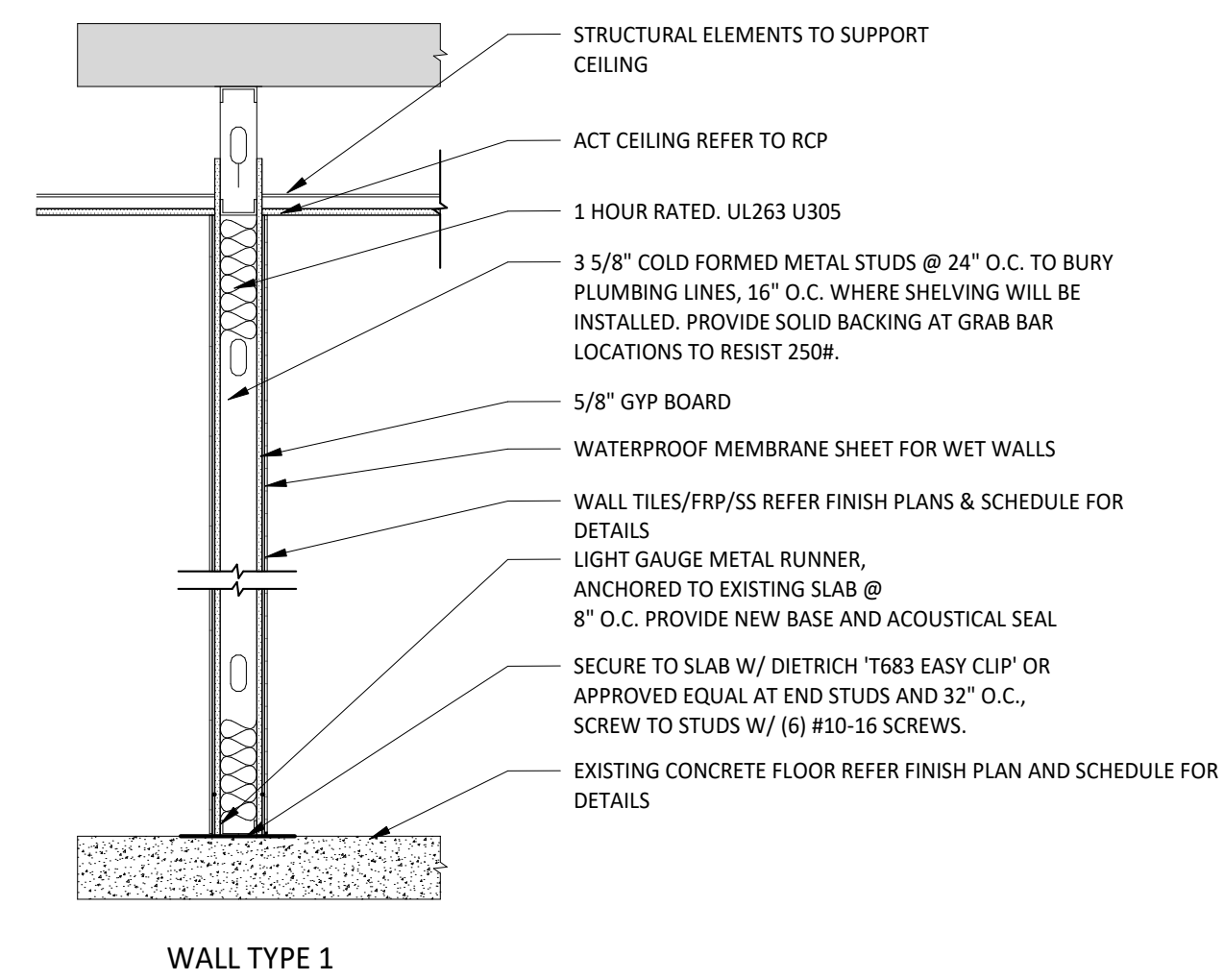
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GENERAL NOTES AND ZONING

SHEET: **A-1**
DATE: 02.09.2021
SCALE: AS INDICATED



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SIGNATURES

CHAIRMAN	SECRETARY	ENGINEER
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CONSTRUCTION
PLAN

SHEET: A-2

DATE: 02.09.2021

SCALE: AS INDICATED

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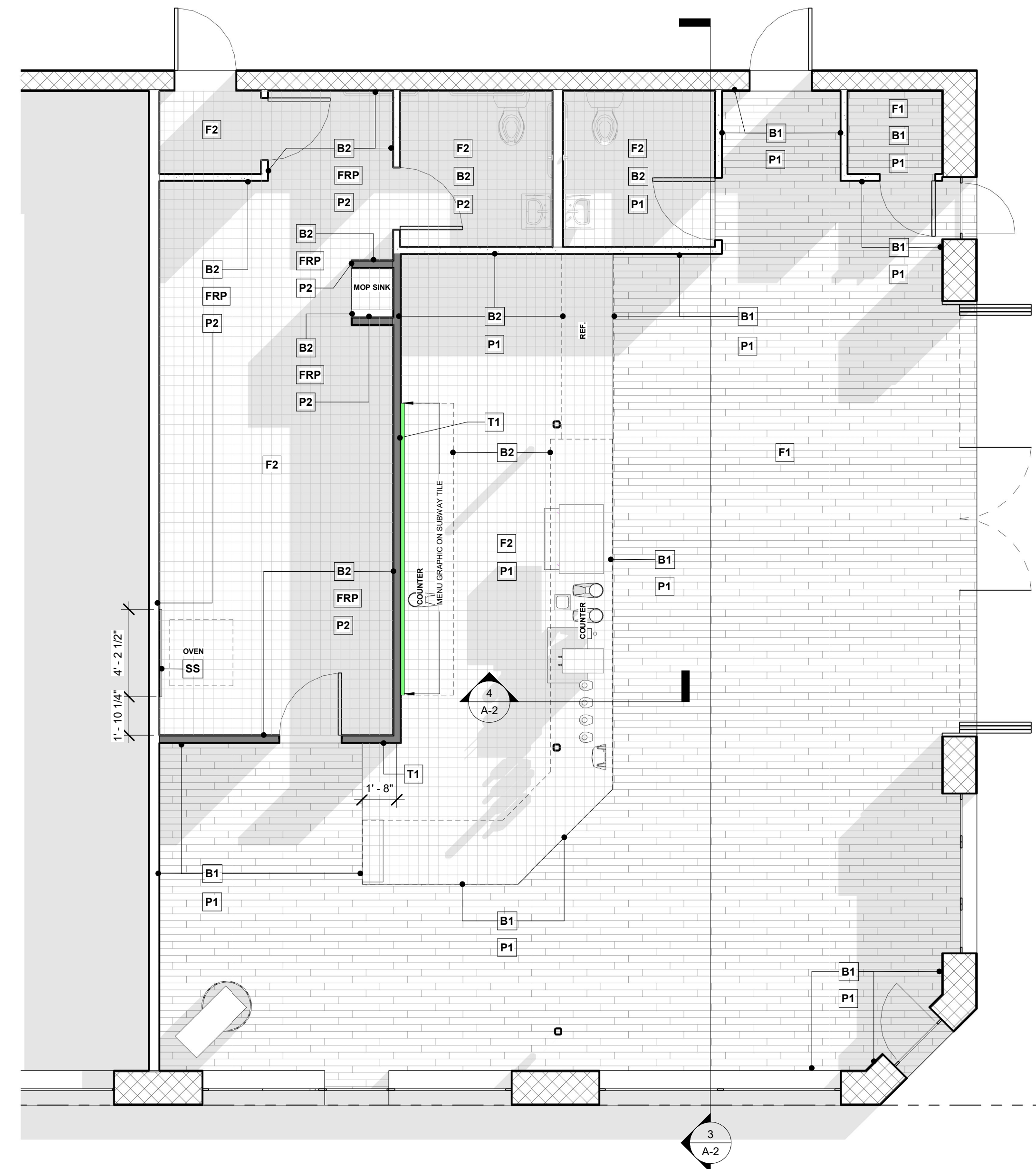
GREGORY RALPH
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 1924 RT 22 E
 BOUND BROOK, NJ 08805
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**FINISH PLAN AND
 FINISH SCHEDULE**

SHEET: A-3

DATE: 02.09.2021

SCALE: 1/4" = 1'-0"



TAG	SURFACE	SOURCE	PRODUCT
FLOOR			
F1	DINING AREA	DALTILE OR SIMILAR	4" X 24" OWNER SELECTED CERMIC TILE
F2	KITCHEN & FRONT LINE FLOOR	DALTILE OR SIMILAR	6" X 6" QUARRY TILES
BASE			
B1	DINING AREA	DALTILE OR SIMILAR	4" X 24" WNER SELECTED CERAMIC BASE
B2	KITCHEN & FRONT LINE	DALTILE OR SIMILAR	6" X 6" QUARRY COVE TILE W/ 3/8" RADIUS COVE
WALL FINISHES			
P1	DINING ROOM, TOILET & FRONTLINE	BENJAMIN MOORE OR SMILAR	PAINT - T.B.D.
P2	KITCHEN WALLS & CEILING	BENJAMIN MOORE OR SMILAR	PAINT ABOVE 5'-10" - T.B.D.(FDA CFR21 175.300 COMPLIANT
FRP	KITCHEN WALS	MARLITE OR SIMILAR	FRP WALL PANELLING - UP TO 5'-10"
T1	U/ WALL CABINETS FRONT LINE & TOI.	DALTILE/SUBWAY TILES	CERAMIC WALL TILES 2" X 8" - 42" HIGH
SS	BEHIND THE OVEN	TBD	STAINLESS STEEL WAINSCOAT
CEILING			
CT1	DINING AREA	CONSTINO OR SIMILAR	5/8" GWB PAINTED
CT2	SERVING/FRONT LINE	ARMSTRONG OR SIMILAR	ACOUSTIC CEILING TILES 2' X2' WHITE
CT3	KITCHEN AND SOFFITS	CONSTINO OR SIMILAR	VINYL FACED ACOUSTIC CEILING TILES

QUARRY TILE™
 QUARRY

F2

daltilo
 MAJOR TILE RESELLER

QUARRY

NAME	Color	Size	Material	Finish
B2	Dark Brown	6" x 6"	Quarry	Matte

APPLICATIONS

PERFORMANCE CHARACTERISTICS

INSTALLATION

NOTES

QUARRY TILE™
 QUARRY

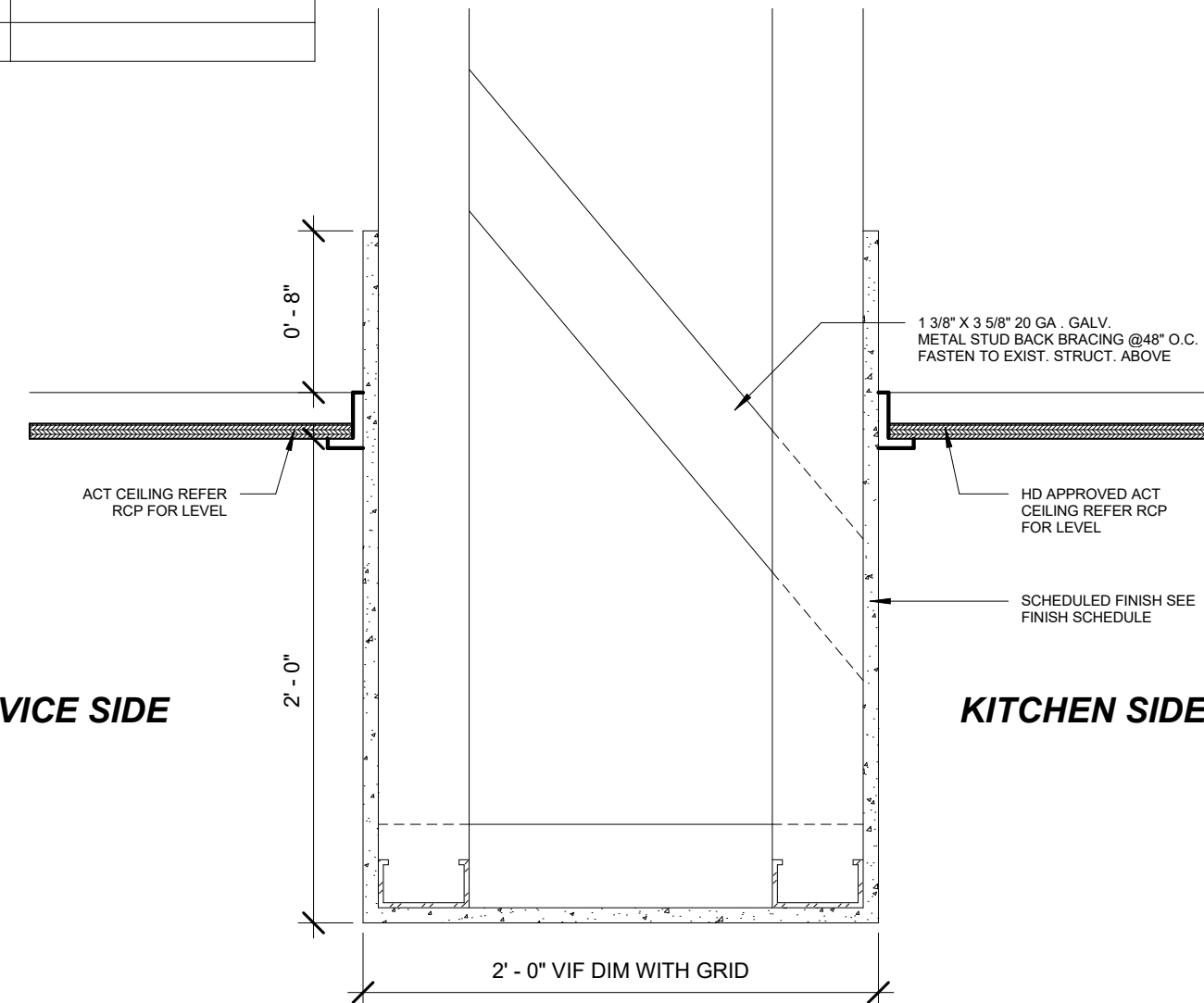
B2

daltilo

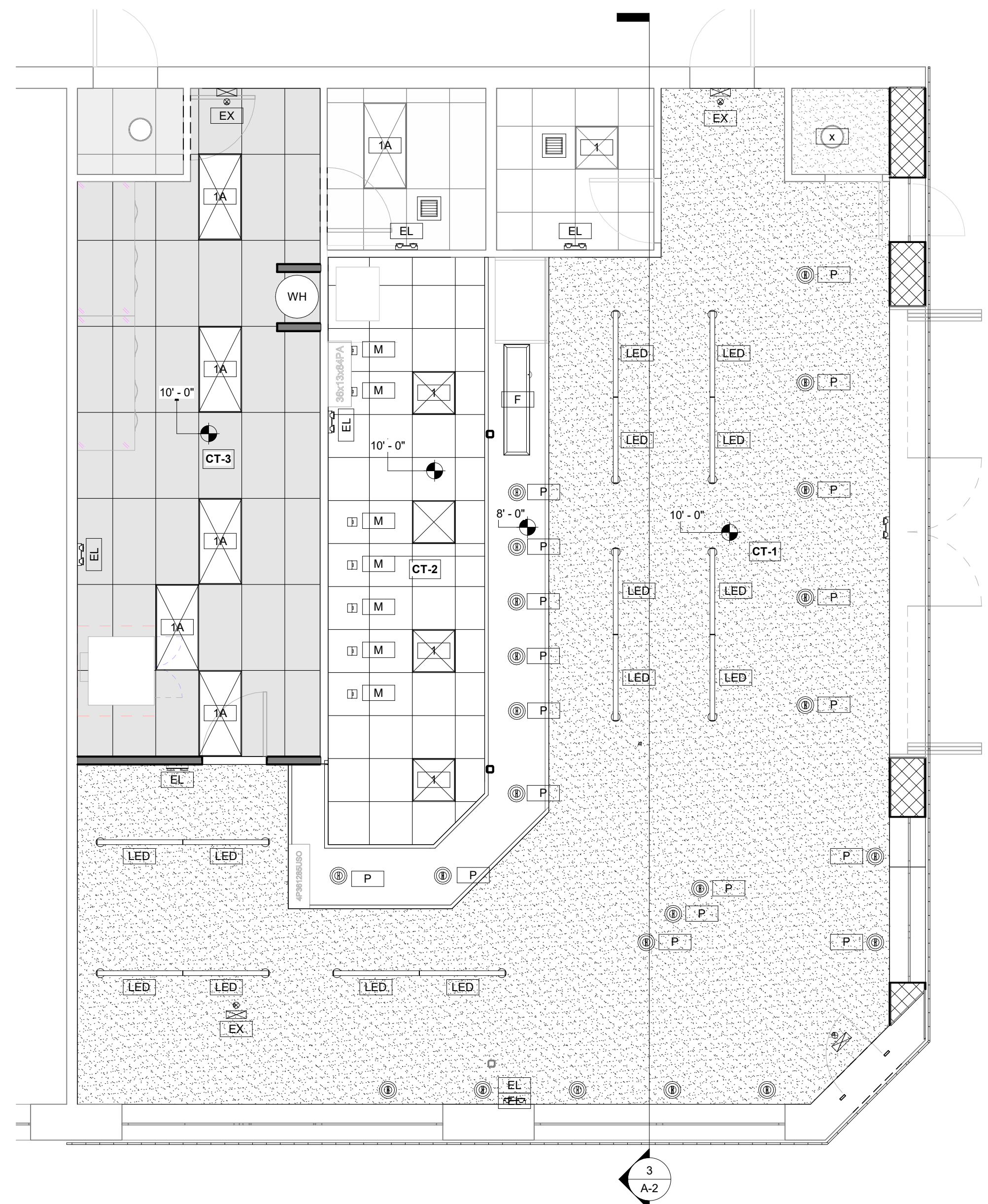
ZEROTOX

SIGNATURES		
CHAIRMAN	SECRETARY	ENGINEER

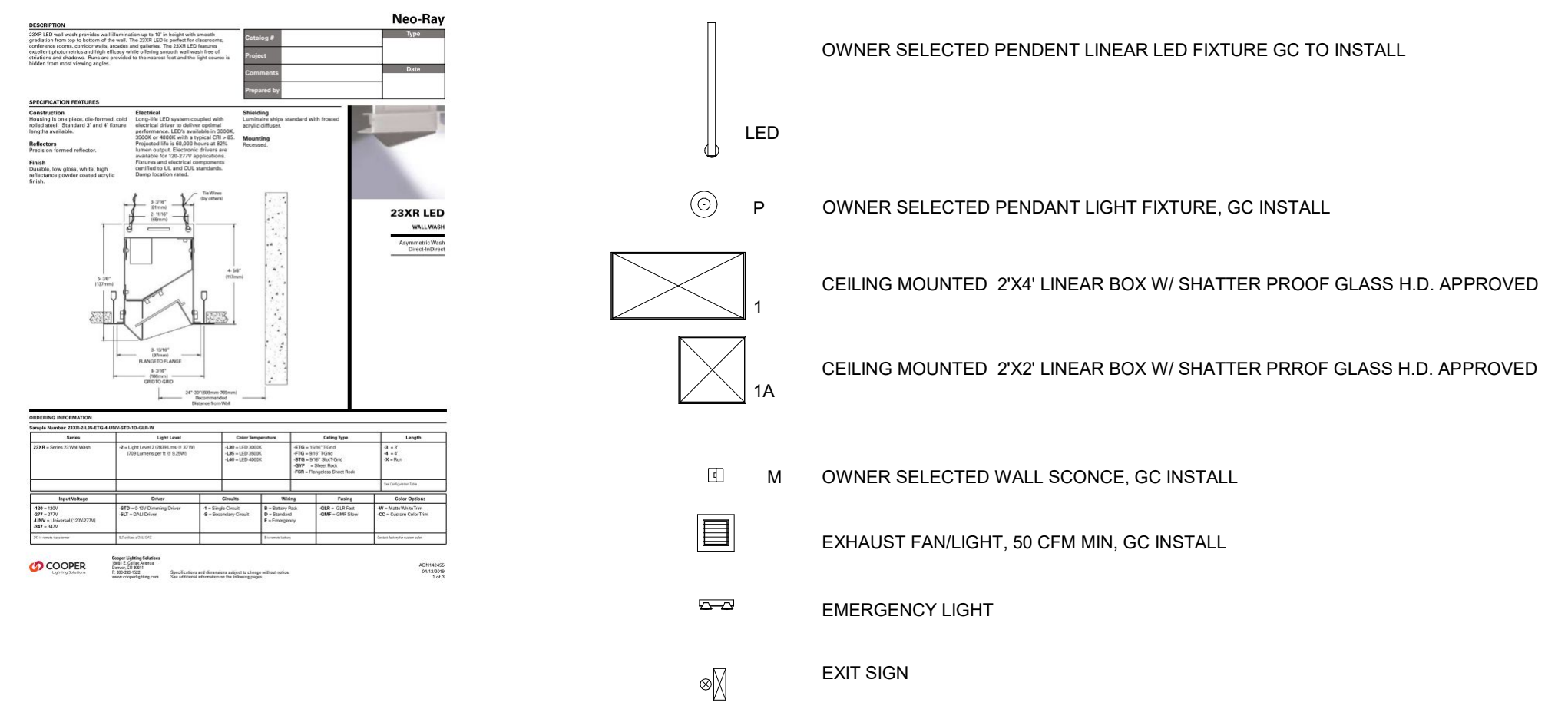
Lighting Fixture Schedule 1					
Type Mark	Family and Type	Manufacturer	Model	Lamp	Type Comments
1	Ceiling Light - Linear Box: 2'x2'(2 Lamp) - 120V			T-12	
1A	Ceiling Light - Linear Box: 2'x4'(2 Lamp) - 120V			T-12	
EL	EmergencyLighting_Cooper_SureLites_Commercial_AA: EmergencyLighting_Cooper_SureLites_Commercial_AA	Cooper Industries, Inc.	Model	Lamp	
EX	Lighting-Exit_Sign-Chloride-44R_Series-SM_Ceiling_Mount: 44RL1R	Chloride	44RL1R	LED	
F	Lighting_Ceiling-Mounted_Intra-Lighting_Skyler-SDI: SDI-A 3100 lm 56 W TW Direct Light OFF 1572x367mm susp Y+LD	Intra lighting	167012135 111	LED	© Intra lighting. We reserve the right to make technical changes without prior notice.
LED	Lighting_Fixture-Lumenpulse-Lumenline-Pendant_Direct-Indirect: Refer to Catalog	Lumenpulse	LLI2P	LED	
M	Lighting_Sign-Ceiling-Cooper-Lumiere-Eon-S1-LED: Lighting_Sign-Ceiling-Cooper-Lumiere-Eon-S1-LED	Cooper Lighting	303-S1	LED	Sign & Ceiling
P	Lighting_Pendants_Orsjö-Belysning_Konkret-Pendant: Ashwood Veneer	Orsjö	Konkret Pendant		H=450 Ø=590
x	Downlight - Round - LED: LED15FM12-W120			LED	



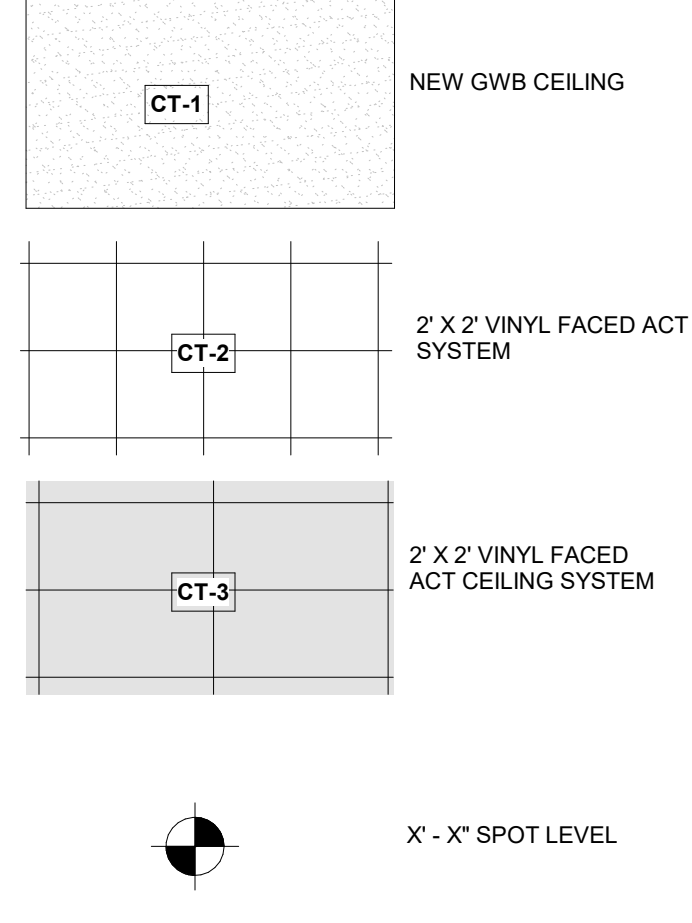
PENDANT LIGHTS



LIGHT FIXTURE LEGEND



LEGEND



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SIGNATURES

CHAIRMAN	SECRETARY	ENGINEER

REFLECTED CEILING PLAN

SHEET:	A-4
DATE:	02.09.2021
SCALE:	AS INDICATED

CLIENT:
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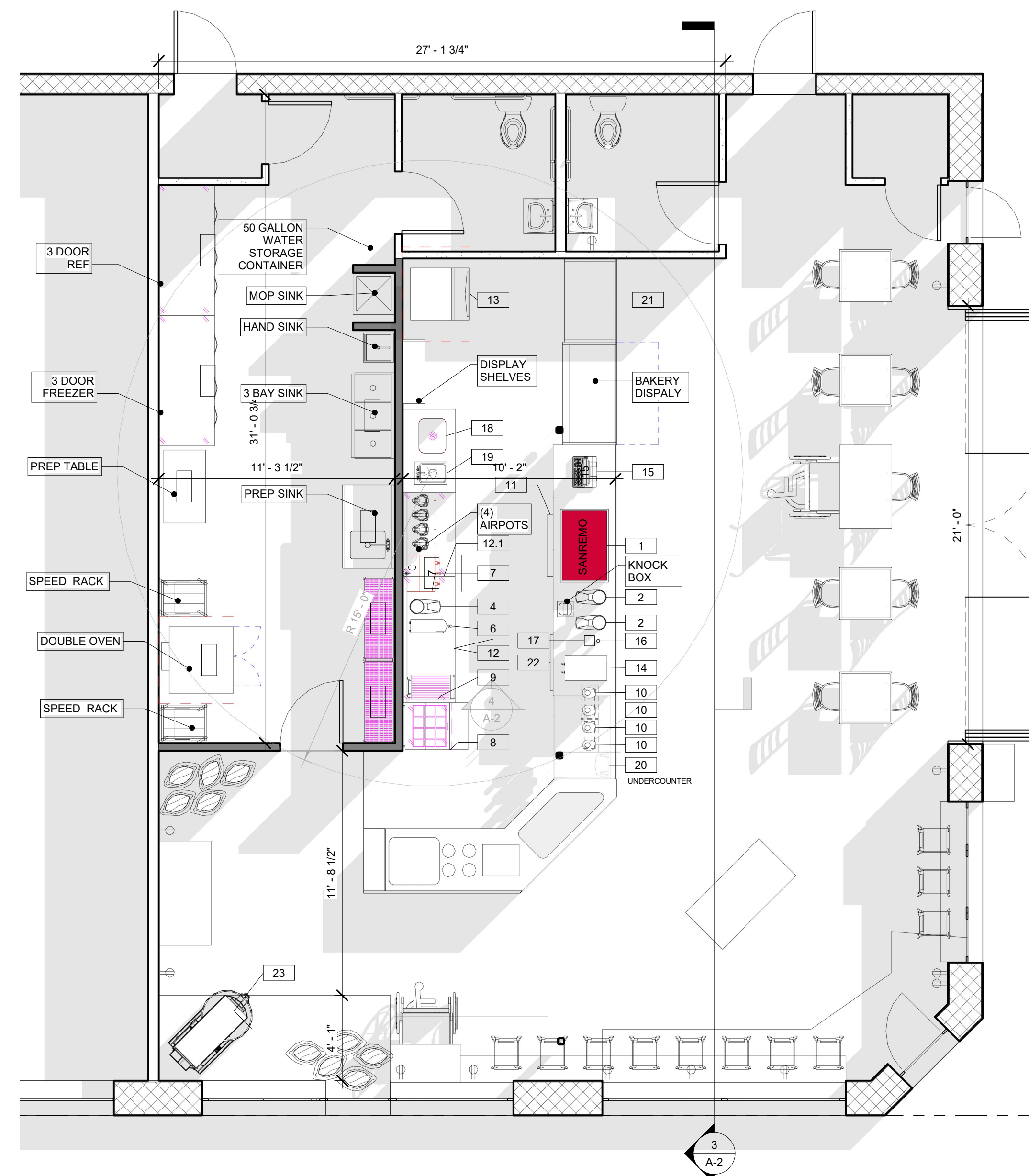
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Equipment	Product name		Measurements		
1	San Remo 3-Group Espresso machine	x	29" wide X 24.5" deep	220	30amp
2	Compak Espresso grinders	x	2 of them - 14" wide	120	each 13 amps
4	Compak Drip Grinder	x	15"W X 16.5" D	120	each 13 amps
6	Fetco Hot water dispenser	x	10"W X 19"D	220	25 amps
7	fetco brewer CBS-1152 TWIN	x		220	30
8	Sandwich Fridge	x		120	5 amps
9	Merry Chef			220	
10	Marco pour over system (4 heads)	x	4 heads, 2 hot water boilers	120	
11	Fridge under ESP machine	x		120	4 amps
12	Back Bar countertop fridge	x	2 of them, 72" wide, 24" deep,	120	5 amp
13	Ice Machine	x	25" wide 30" deep	120	9 amp
14	Brood Iced Coffee dispenser	x		120	
15	register			120	low
16	H2O Filler	x		120	4
17	Cup rinser	x	on shelf under counter	120	low
18	Dump Dink back bar				
19	Hand sink back bar				
20	Water filtration (reverse osmosis)	x			
21	display merchandise fridge				
22	Ice Bin	x			
23	Diedrich Coffee Roaster			120	

SIGNATURES

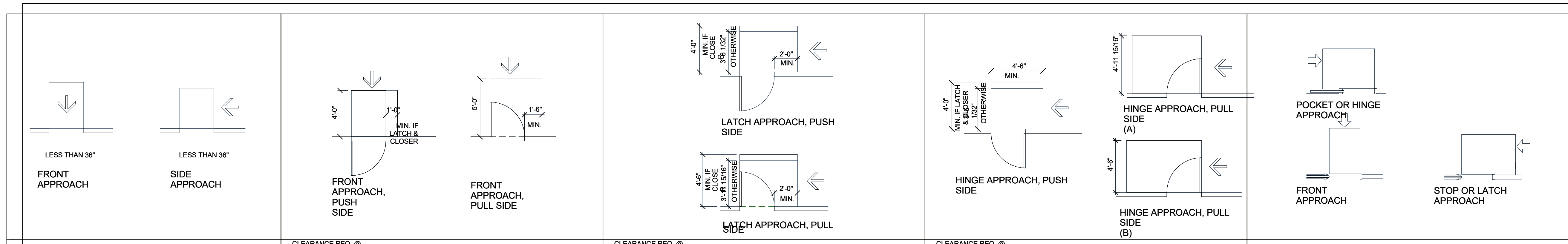
CHAIRMAN	SECRETARY	ENGINEER

EQUIPMENT PLAN

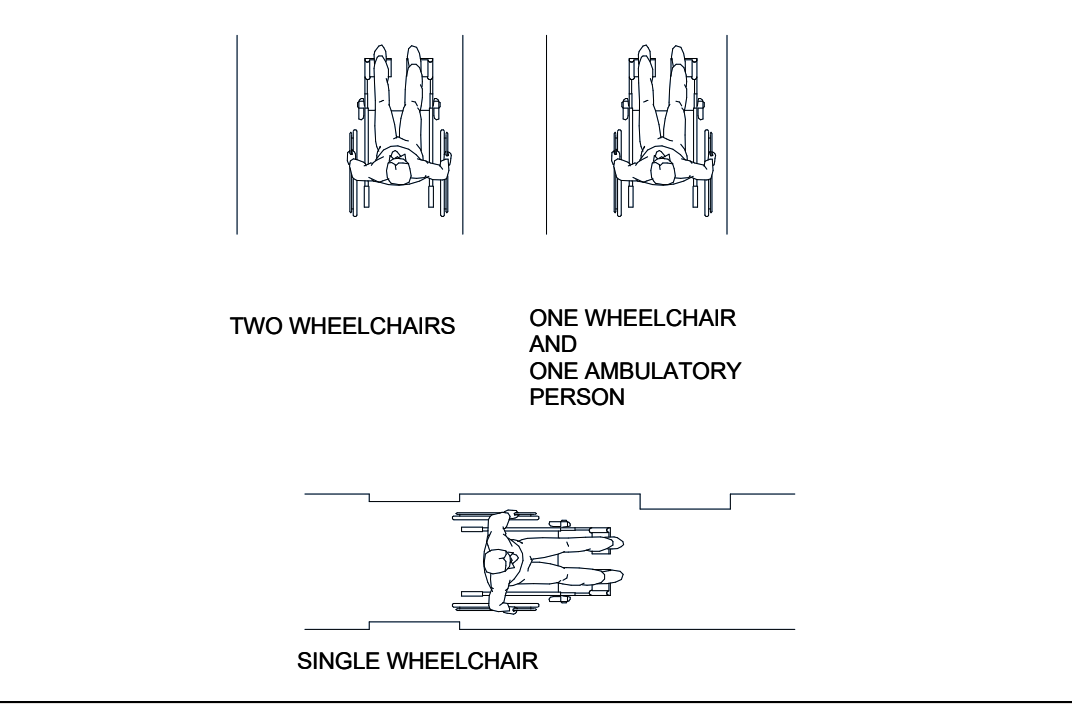
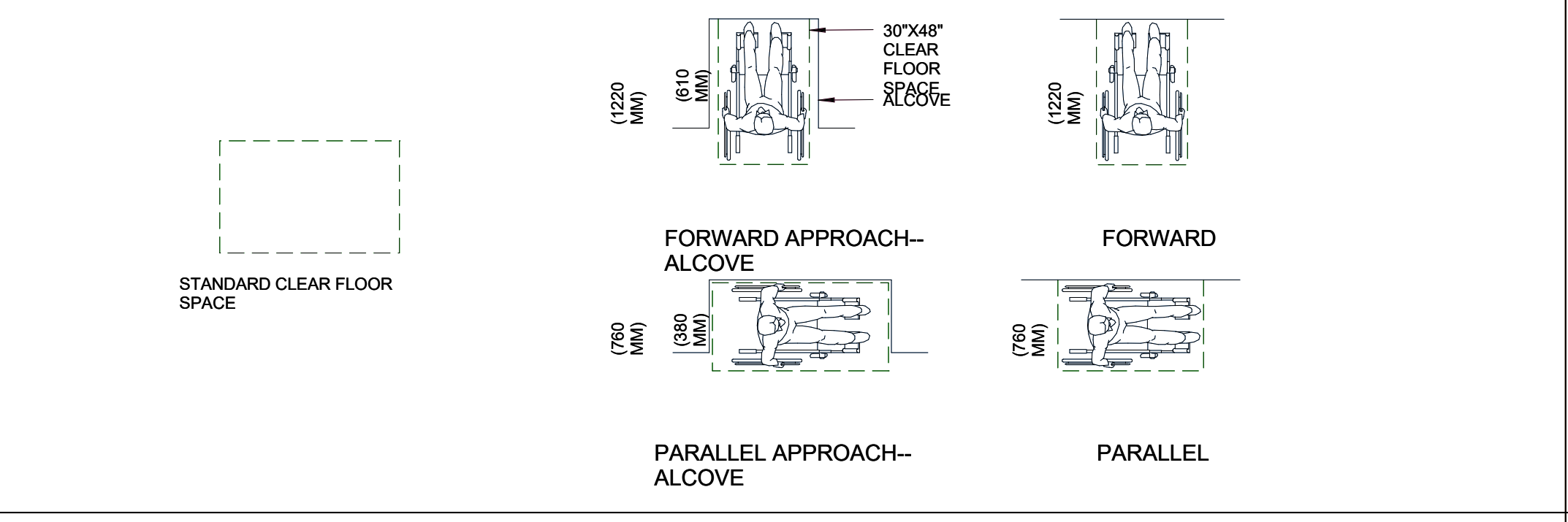
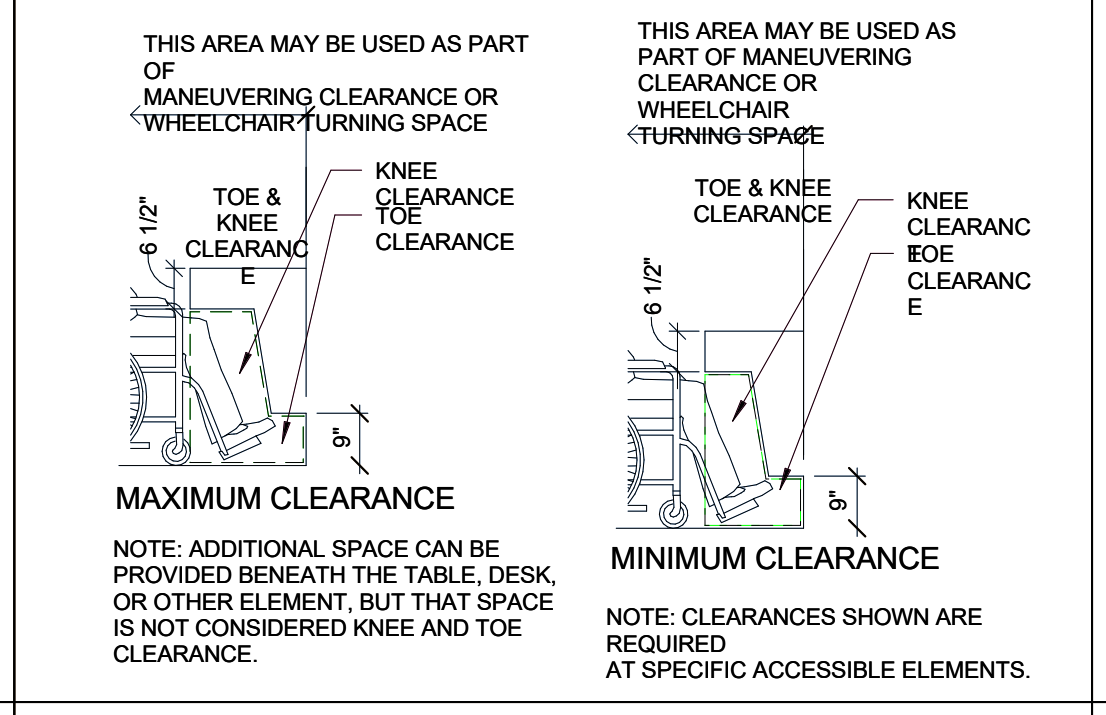
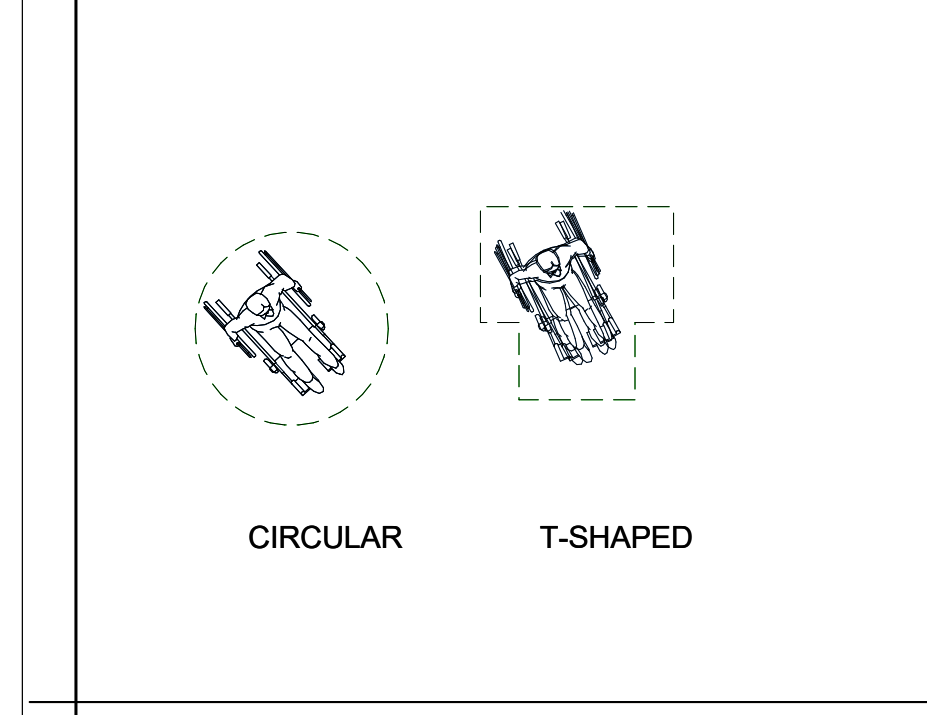
SHEET: **A-5**

DATE: **02.09.2021**

SCALE: **1/4" = 1'-0"**



CLEARANCE REQ. @ OPENING CLEARANCE REQ. @ DOOR CLEARANCE REQ. @ DOOR CLEARANCE REQ. @ DOOR POCKET DOOR @ REQ'S.

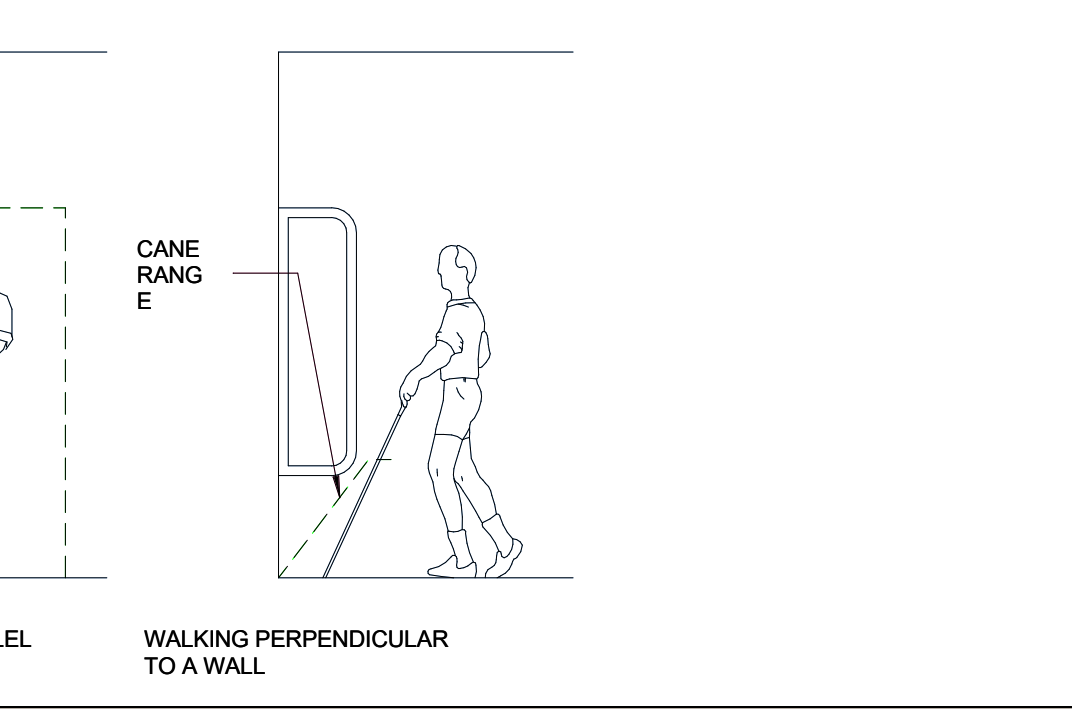
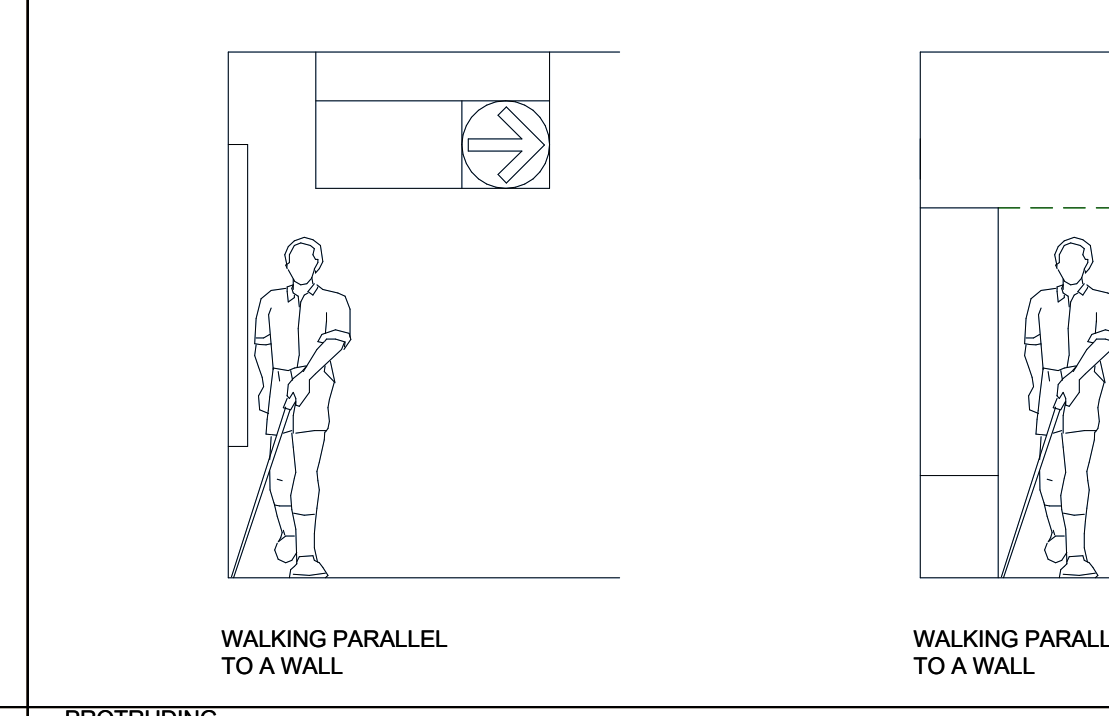
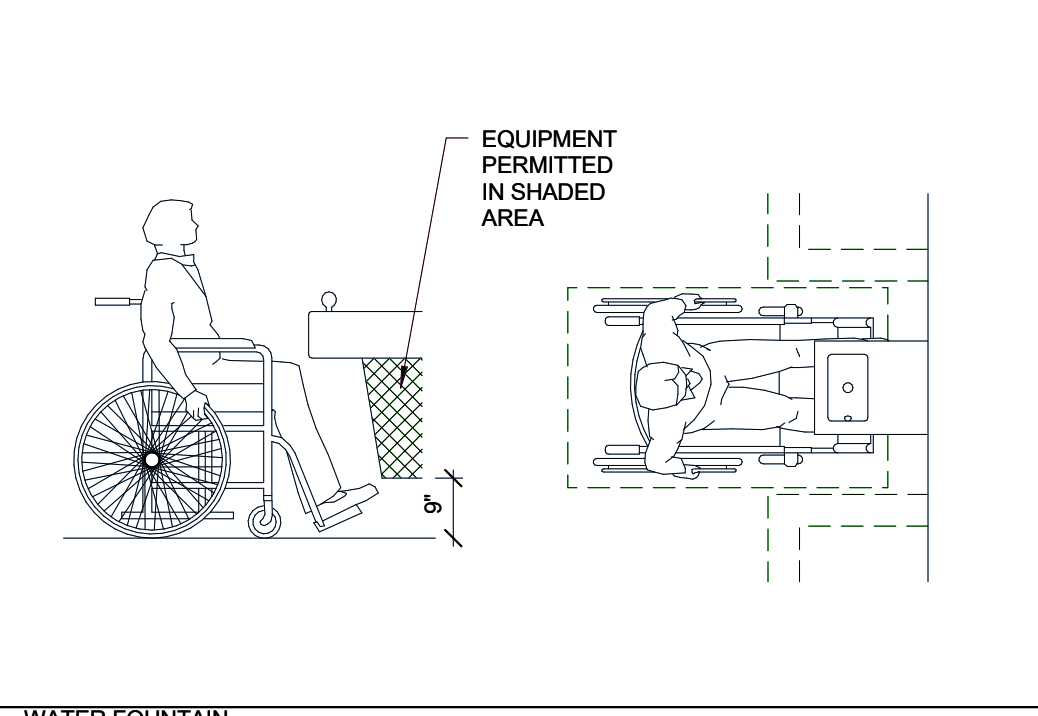
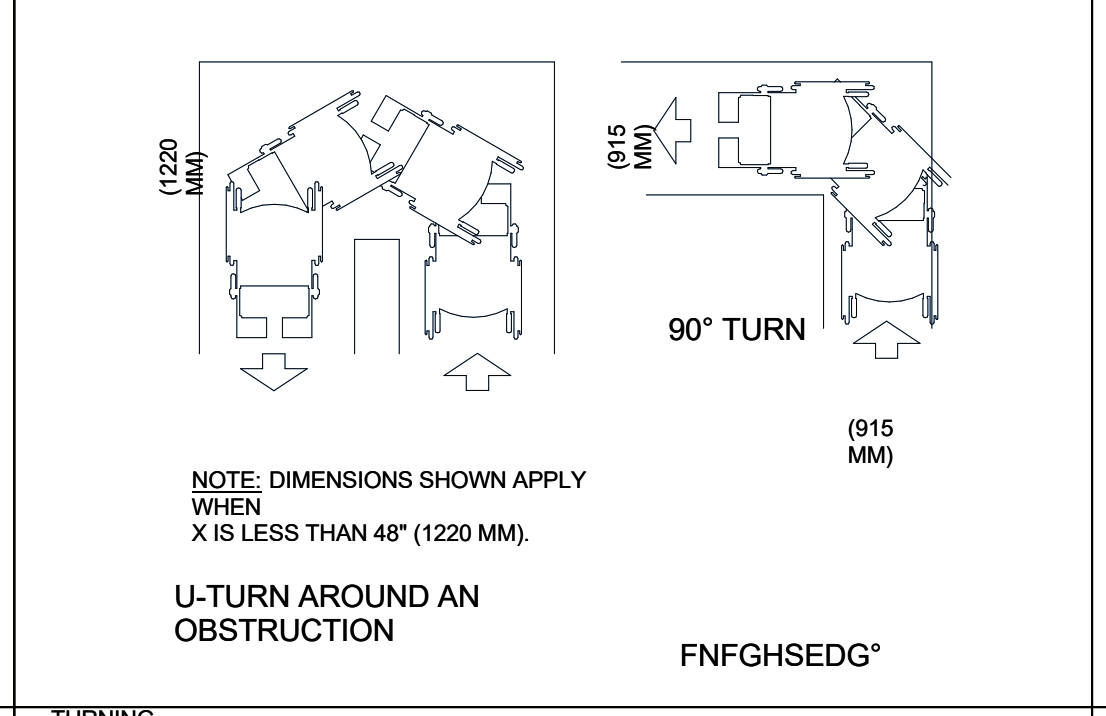
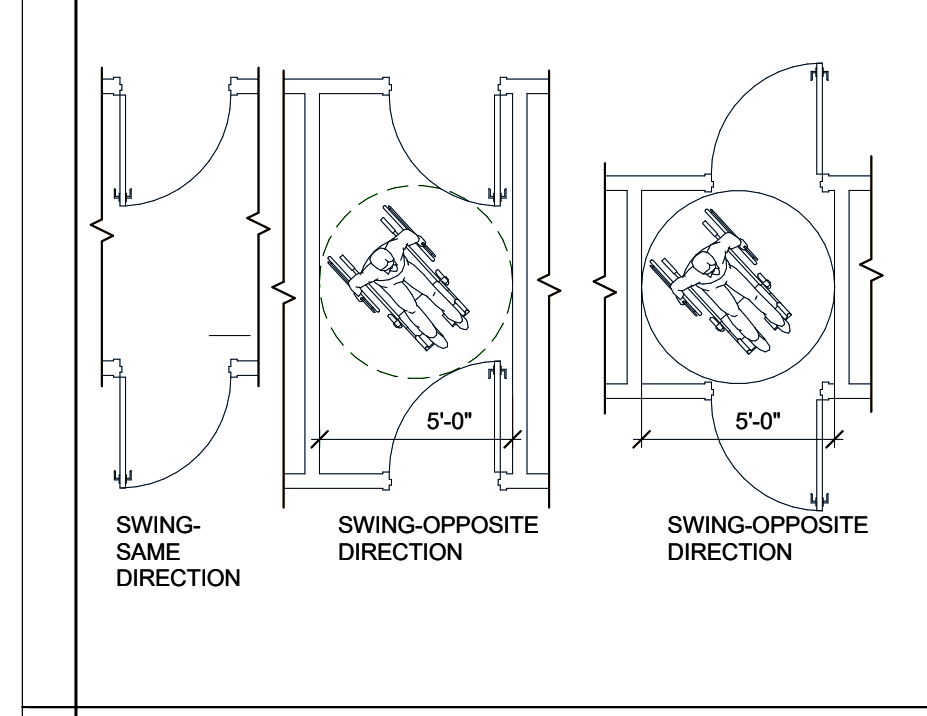


TURNING SPACE

TOE AND KNEE CLEARANCE

CLEAR FLOOR SPACE/MANEUVERING SPACE

ACCESSIBLE PATH



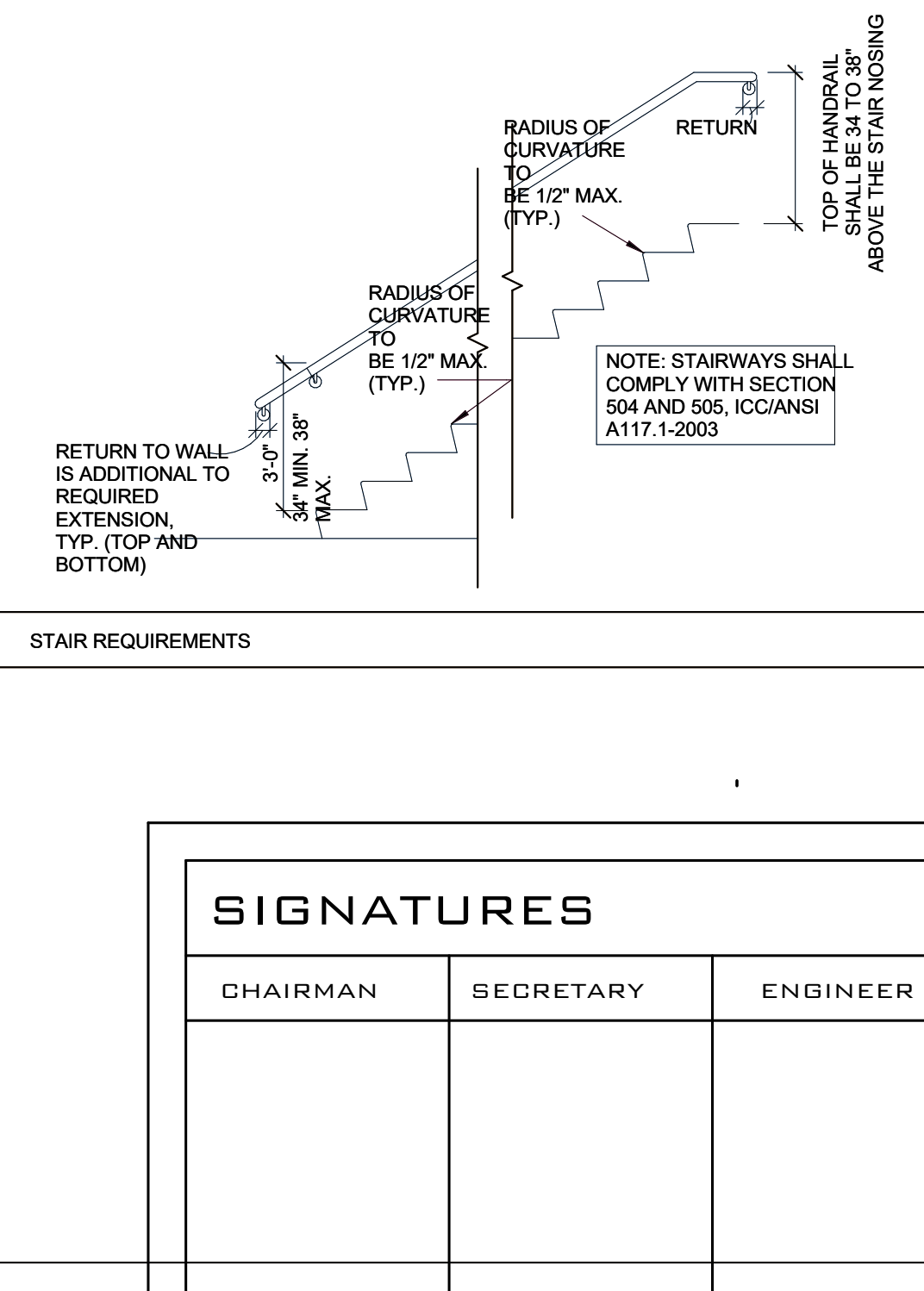
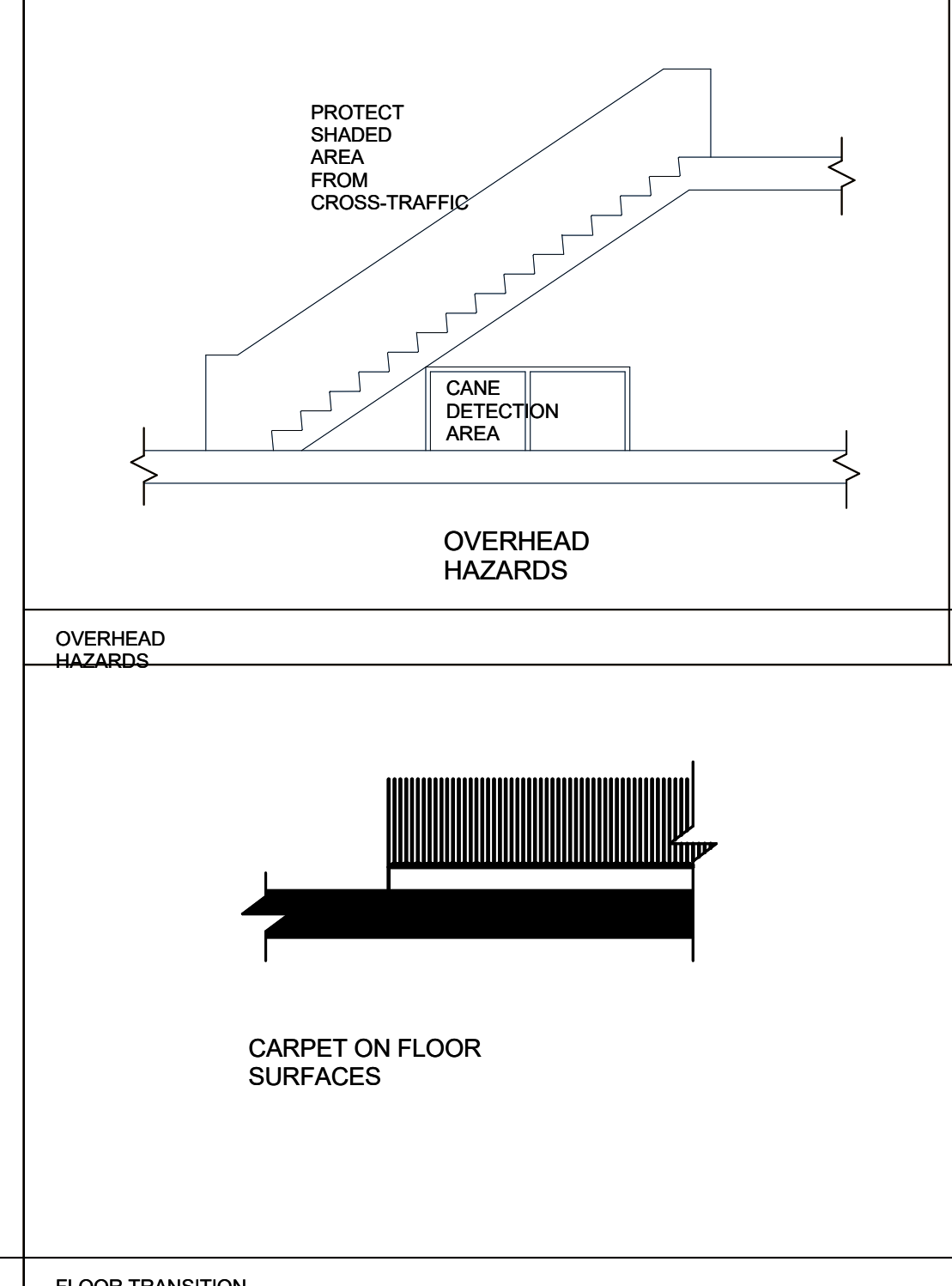
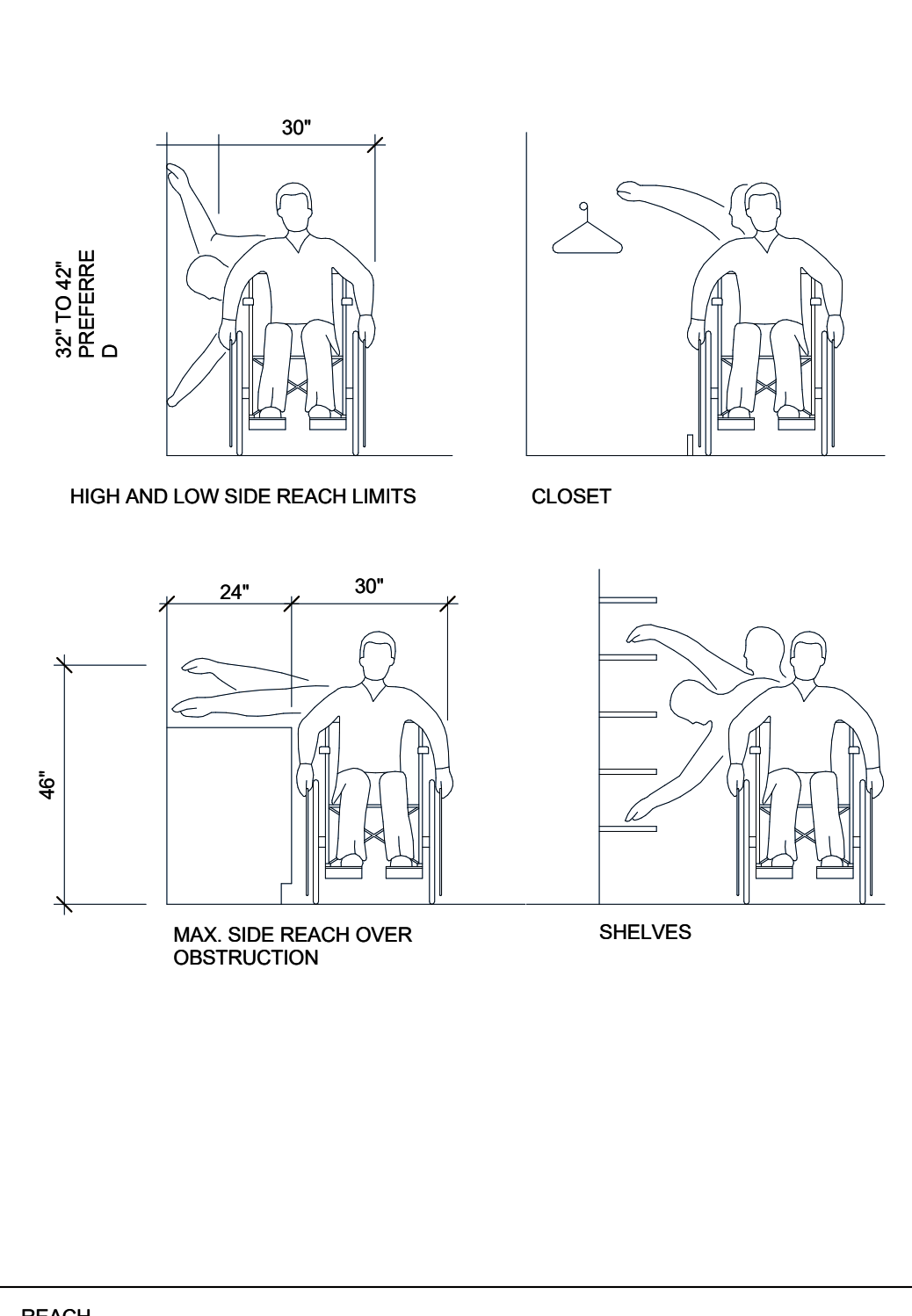
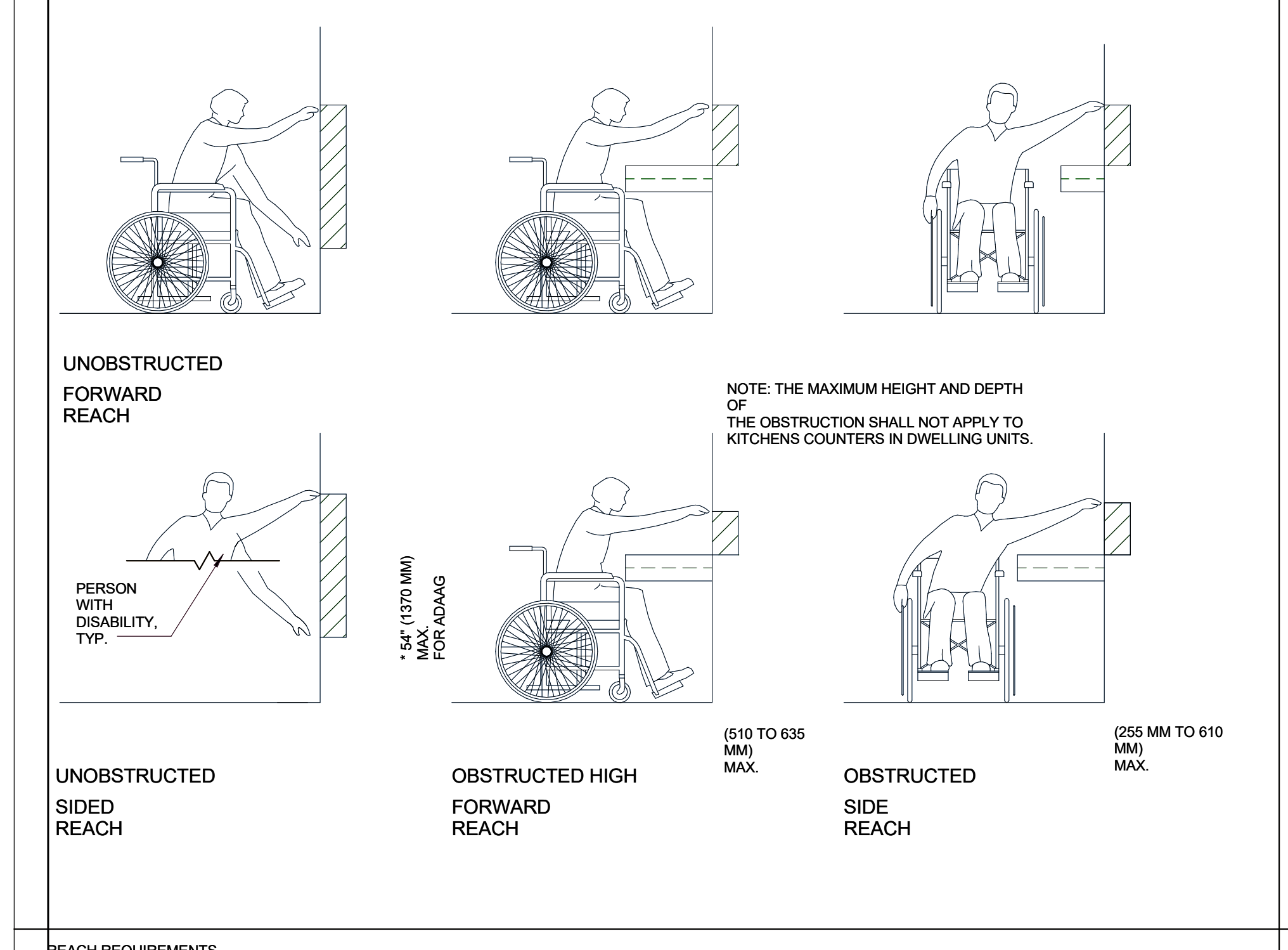
DOOR IN A SERIES

TURNING CLEARANCE

WATER FOUNTAIN CLEARANCE

PROTRUDING OBJECTS

STAIR REQUIREMENTS



REACH REQUIREMENTS REACH REQUIREMENTS FLOOR TRANSITION

CLIENT:
OWNER : 1012
MAIN REALTY LLC,
PO BOX 651,
HOLMDEL , NJ
07733
TENANT:
BOOSKERDOO
COFFEE AND
BAKING COMPANY
PROJECT:
CHANGE OF USE

TAX MAP SHEET -
16 (SEE DWG)
COUNTY -
MONMOUTH
BOROUGH OF
BELMAR
ADDRESS
1012 MAIN STREET
BELMAR,
NJ 07719

REVISIONS:

DRAWN BY: NK
CHECKED BY: GR

SEAL:

GREGORY RALPH
ARCHITECT
LICENSE: 18862
1924 RT 22 E
BOUND BROOK, NJ 08805
TEL: 908 731 1626
GREG@GRALPHARCHITECT.COM

ADA CLEARANCES

SIGNATURES		
CHAIRMAN	SECRETARY	ENGINEER

SHEET: A-6
DATE: 02.09.2021
SCALE: 1/2" = 1'-0"

GENERAL NOTES

DESIGN INTENT OF THESE DOCUMENTS ARE INTENDED TO COMPLY WITH UNIFORM CONSTRUCTION CODE (NJAC 5:23-7), CHAPTER 11 OF THE INTERNATIONAL BUILDING CODE/2015 AND THE ICC/ANSI A117.1 - 2009.

THE TECHNICAL CRITERIA OF ICC A117.1-2009 SHALL BE PROVIDED TO ALLOW PERSONS WITH PHYSICAL DISABILITY TO INDEPENDENTLY ENTER AND USE SITE AND/OR FACILITY.

ALL PROVISIONS SHALL BE ADHERED TO. THE WORK INVOLVED WITH CONFORMANCE OF ALL TECHNICAL CRITERIA INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

1. SYMBOLS OF ACCESSIBILITY
IF ACCESSIBLE FACILITIES ARE IDENTIFIED, THEN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE USED.

2. ACCESSIBILITY
(A) THE PRIMARY ENTRANCES TO COMMERCIAL FACILITIES SPACES SHALL BE ACCESSIBLE TO HANDICAPPED PERSONS FROM STREETS, SIDEWALKS, DRIVEWAYS AND PARKING AREAS.
(B) ALL FACILITIES WITHIN THIS BUILDING NORMALLY ACCESSIBLE TO THE PUBLIC OR EMPLOYEES SHALL BE ACCESSIBLE TO HANDICAPPED PERSONS, EXCEPT MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS AND BOILER ROOMS.

3. ALARMS
A MANUAL FIRE ALARM SYSTEM SHALL BE INSTALLED IN GROUP B OCCUPANCIES WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:
1. THE COMBINED GROUP B OCCUPANT LOAD OF ALL FLOORS IS 500 OR MORE.
2. THE GROUP B OCCUPANT LOAD IS MORE THAN 100 PERSONS ABOVE OR BELOW THE LOWEST LEVEL OF EXIT DISCHARGE.
3. THE FIRE AREA CONTAINS AN AMBULATORY FACILITY.

(A) ALARMS - AUDIBLE AND VISUAL ALARMS SHALL COMPLY WITH SECTION 907.

(B) ACCESSIBLE AUDIBLE AND VISUAL ALARMS AND NOTIFICATION APPLICATIONS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 LISTED IN SECTION 105.2.2 BE POWERED BY COMMERCIAL LIGHT AND POWER SOURCE, BE PERMANENTLY CONNECTED TO THE WIRING OF THE PREMISES ELECTRIC SYSTEM, AND BE PERMANENTLY INSTALLED.

(C) ACCESSIBLE AUDIBLE AND VISUAL ALARMS AND NOTIFICATION APPLICATIONS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 LISTED IN SECTION 105.2.2 BE POWERED BY COMMERCIAL LIGHT AND POWER SOURCE, BE PERMANENTLY CONNECTED TO THE WIRING OF THE PREMISES ELECTRIC SYSTEM, AND BE PERMANENTLY INSTALLED.

4. GROUND AND FLOOR SURFACES
(A) SHALL BE FIRM, STABLE AND SLIP RESISTANT. IF CARPET IS USED IT SHALL BE SECURELY ATTACHED AND SHALL HAVE A 1/2" MAXIMUM PILE HEIGHT.
(B) RAMP:
(1) THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:48. RAMP SURFACES SHALL COMPLY WITH ICC A117.1.
(2) RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12.
(3) CLEAR 36" MINIMUM WIDTH FOR RAMP ARE BETWEEN HANDRAILS.

(C) LANDINGS:
(1) RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN. LANDINGS SHALL HAVE THE FOLLOWINGS FEATURES:
A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
B. THE LANDING LENGTH SHALL BE A MIN OF 60" CLEAR.
C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60" BY 60".

5. 505 HANDRAILS
(A) IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72", THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS OR ADJACENT TO SEATING IN ASSEMBLY AREAS. HANDRAILS SHALL COMPLY WITH 505 A117.1 ADA AND SHALL HAVE THE FOLLOWING FEATURES:
(1) HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON SWITCH BACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.
(2) IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12" BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE.
(3) GRIPPING SURFACES SHALL BE CONTINUOUS.
(4) EXTENSION OF HANDRAILS TO RETURN TO WALL, GUARD, LANDING SURFACE OR BE CONTINUOUS TO ADJACENT HANDRAIL OF AN ADJACENT STAIR FLIGHT.
(5) ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL, OR POST.
(6) HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
(7) HANDRAILS WITH NON-CIRCULAR CROSS SECTIONS SHOULD FOLLOW SECTION 505.7.2.

6. 303 CHANGES IN LEVEL
(B) CHANGES IN LEVEL UP TO 1/4" MAY BE MADE WITHOUT SPECIAL TREATMENT. CHANGES IN LEVEL BETWEEN 1/4" & 1/2" SHALL BE BEVELED WITH NO SLOPE GREATER THEN 1:2. CHANGES IN LEVEL GREATER THEN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.

7. 404.2.6 DOOR HARDWARE
HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" MINIMUM AND 48" MAXIMUM ABOVE THE FLOOR, WHERE SLIDING DOORS ARE FULLY OPEN POSITION OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
AUTOMATIC AND POWER-ASSISTED DOORS SHALL COMPLY WITH ANSIBHMA A156.10 OR ANSIBHMA A156.19 FOR LOW ENERGY. CLEARANCES SHALL COMPLY WITH 404.2.4 OF ADAAG 2010.

8. 404.2.9 DOORS
(A) THE BOTTOM 10 INCHES OF AN ACCESSIBLE FLOOR SURFACE MUST BE A SMOOTH SURFACE.

9. TOILET ROOMS
1. TOILET ROOMS SHALL COMPLY WITH SECTION 603 AS SHOWN ON THIS SHEET.
2. TOILET ROOM DOORS SHALL NOT SWIG INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE.
3. DOORS TO A TOILET ROOM FOR A SINGLE OCCUPANT, ACCESSED ONLY THROUGH A PRIVATE OFFICE AND NOT FOR COMMON USE OR PUBLIC USE SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE, PROVIDED THE SWING OF THE DOOR CAN REVERSED TO COMPLY WITH SECTION 603.2.2.

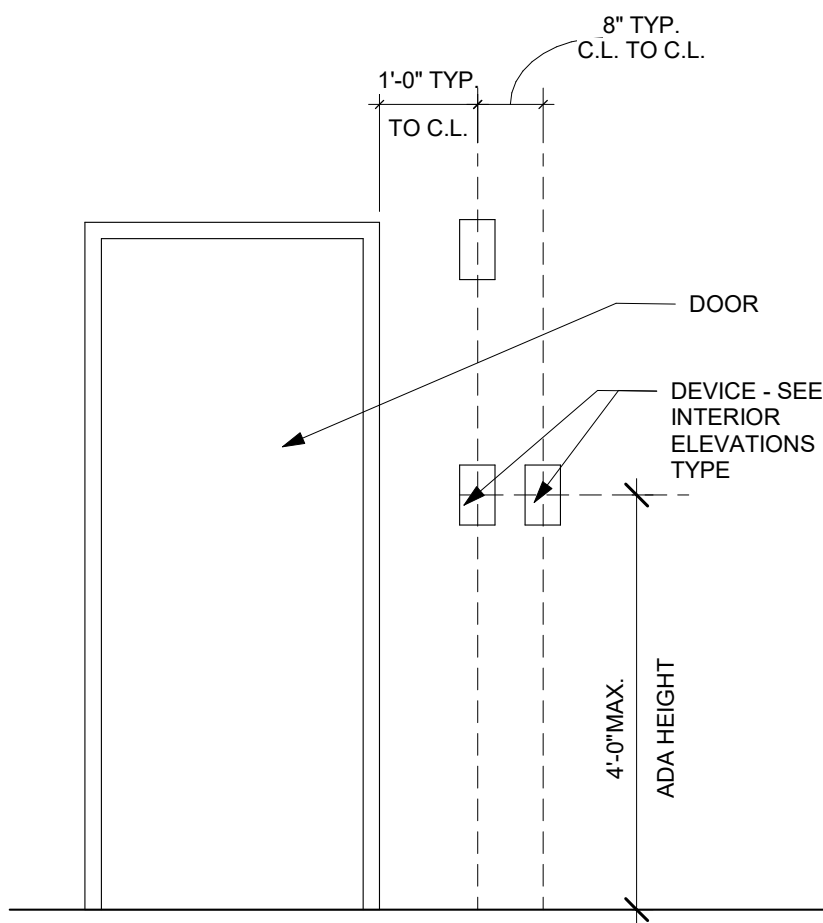
4. WHERE THE ROOM IS FOR INDIVIDUAL USE AND THE CLEAR FLOOR SPACE COMPLYING WITH SECTION 305.3 IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING, THE DOOR SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 603.2.2.
5. WATER SUPPLY AND DRAINPIPPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINS AS PER SECTION 606.6.

6. WHERE MIRRORS ARE LOCATED ABOVE LAVATORIES, A MIRROR SHALL BE LOCATED OVER THE ACCESSIBLE LAVATORY AND SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAXIMUM ABOVE THE FLOOR.
7. URINALS SHALL HAVE A CLEAR FLOOR SPACE OF 30" X 48" FOR A FORWARD APPROACH PER SECTION 305. WHERE THE CLEAR FLOOR SPACE IS POSITIONED FOR A FORWARD APPROACH, THE ALCOVE SHALL BE 36" MINIMUM IN WIDTH WHERE THE PARTITION DEPTH EXCEEDS 24". URINALS SHALL BE OF THE STALL TYPE OR SHALL BE OF THE WALL HUNG TYPE WITH THE RM AT 17" MAXIMUM ABOVE THE FLOOR. WALL HUNG URINALS SHALL BE 13 1/2" MINIMUM IN DEPTH MEASURED FROM THE OUTER FACE OF THE URINAL RIM TO THE WALL.
8. SHOWERS SHALL BE TRANSFER OR ROLL-IN TYPE FULLY COMPLYING WITH SECTION 606.

10. 602 DRINKING FOUNTAINS AND WATER COOLERS
DRINKING FOUNTAINS SHALL COMPLY WITH SECTIONS 602, 1109.5 AND THE NATIONAL STANDARD PLUMBING CODE/2015.
11. ELEVATORS
(A) SHALL COMPLY WITH SECTION 407 OF THE ADAAG GUIDELINES AND ASME A17.1.
(B) CALL BUTTONS SHALL BE RAISED OR FLUSH.
(C) CALL BUTTONS SHALL BE 3/4 INCH MINIMUM IN THE SMALLEST DIMENSION. EXCEPTION, EXISTING ELEVATOR BUTTONS SHALL NOT BE REQUIRED TO COMPLY WITH 407.2.1.2.
(D) FLOOR DESIGNATIONS ARE REQUIRED PER SECTION 407.2.3 OF ADAAG.
(E) 407.4.4 LEVELING
ELEVATOR OPERATION SHALL BE AUTOMATIC. EACH CAR SHALL BE EQUIPPED WITH A SELF-LEVELING FEATURE, THAT WILL AUTOMATICALLY BRING THE CAR TO FLOOR LANDINGS WITHIN A TOLERANCE OF 1/2" UNDER RATED LOADING TO ZERO TO LOADING CONDITIONS. THIS SELF-LEVELING FEATURE SHALL BE AUTOMATIC AND INDEPENDENT OF THE OPERATING DEVICE AND SHALL CORRECT THE OVER TRAVEL OR UNDER TRAVEL.
(F) 407.3.5 DOOR DELAY
THE MINIMUM TIME FOR ELEVATOR DOORS TO REMAIN FULLY OPEN IN RESPONSE TO A CAR CALL SHALL BE 3 SECONDS.
(G) NOTE: CAR DEPTHS CAN ALSO BE 60 INCHES DEEP IF 60 INCHES WIDE WITH A 36 INCH OPENING OR 80 INCHES DEEP AND 54 INCHES WIDE WITH A 36 INCH OPENING.

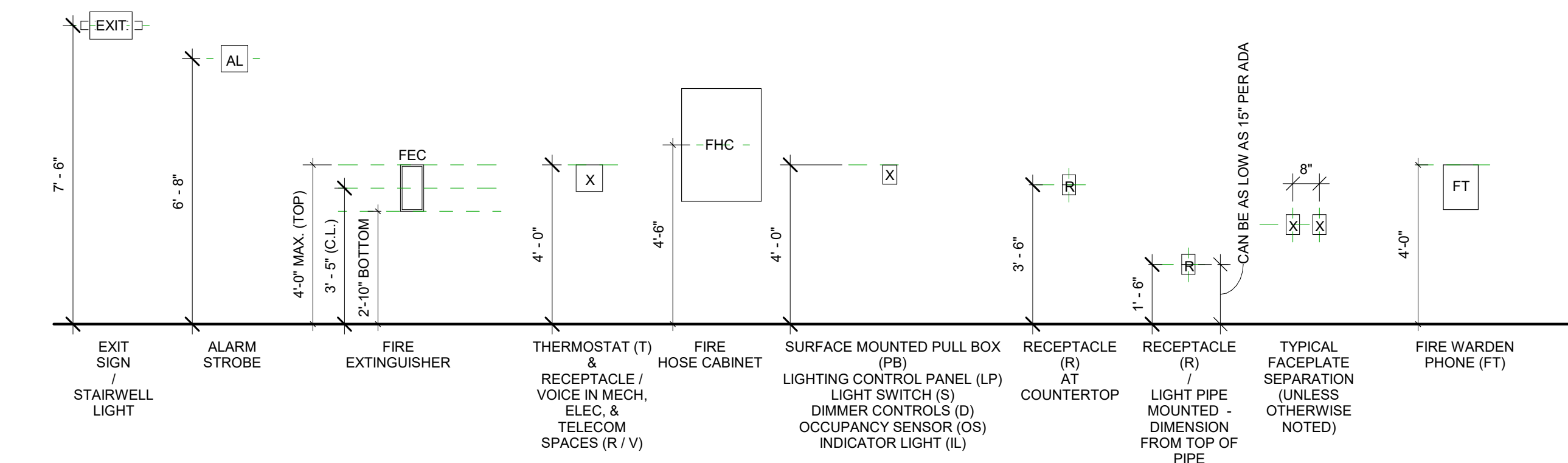
12. PARKING
IF PARKING IS PROVIDED, SPACES SHALL BE RESERVED FOR HANDICAPPED PERSONS PER SECTION 1108.2015 IBC AND 502 ICC A117.1-2009.

TYPICAL MOUNTING HEIGHT AND SPACING AT DOORS

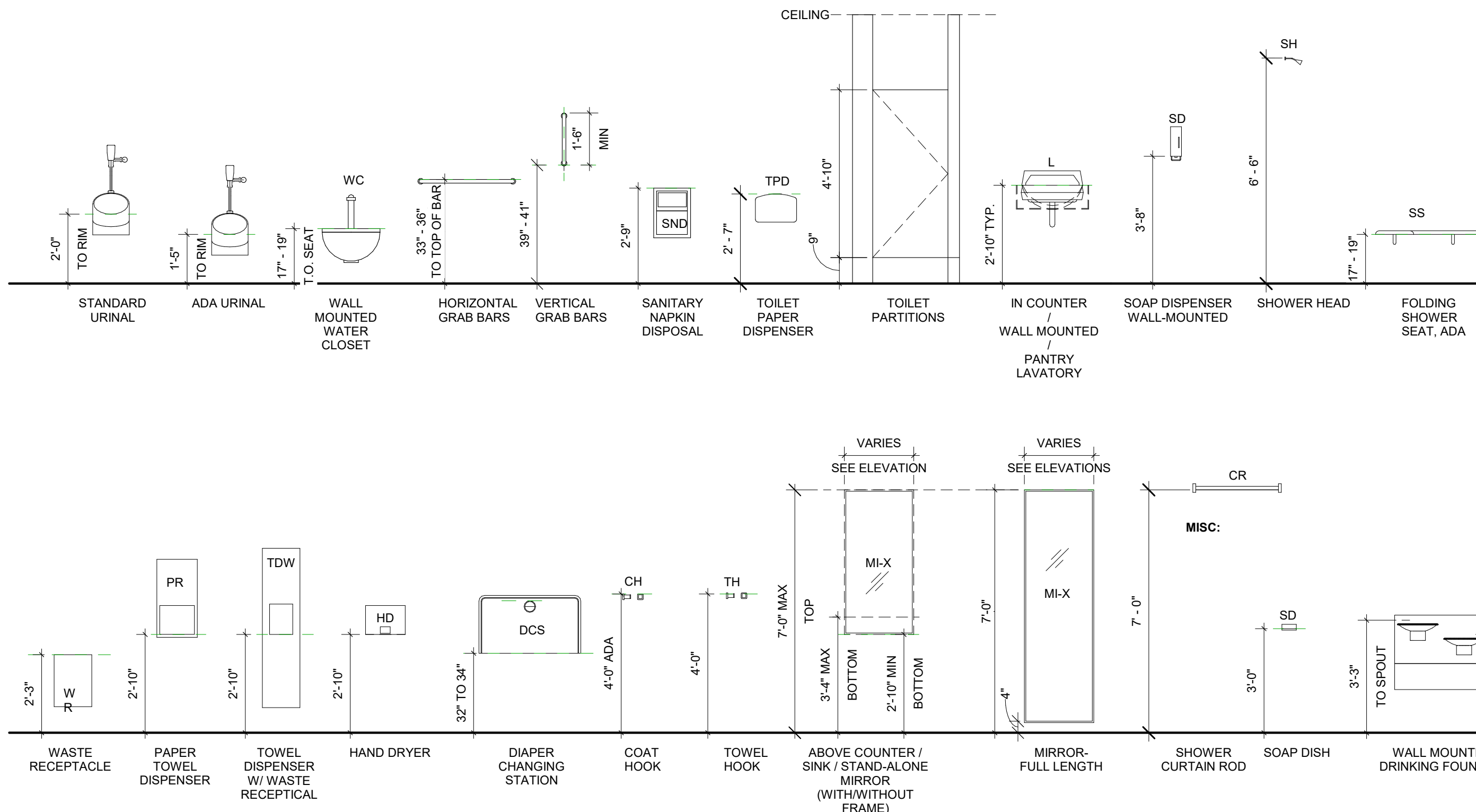


MOUNTING DIAGRAMS

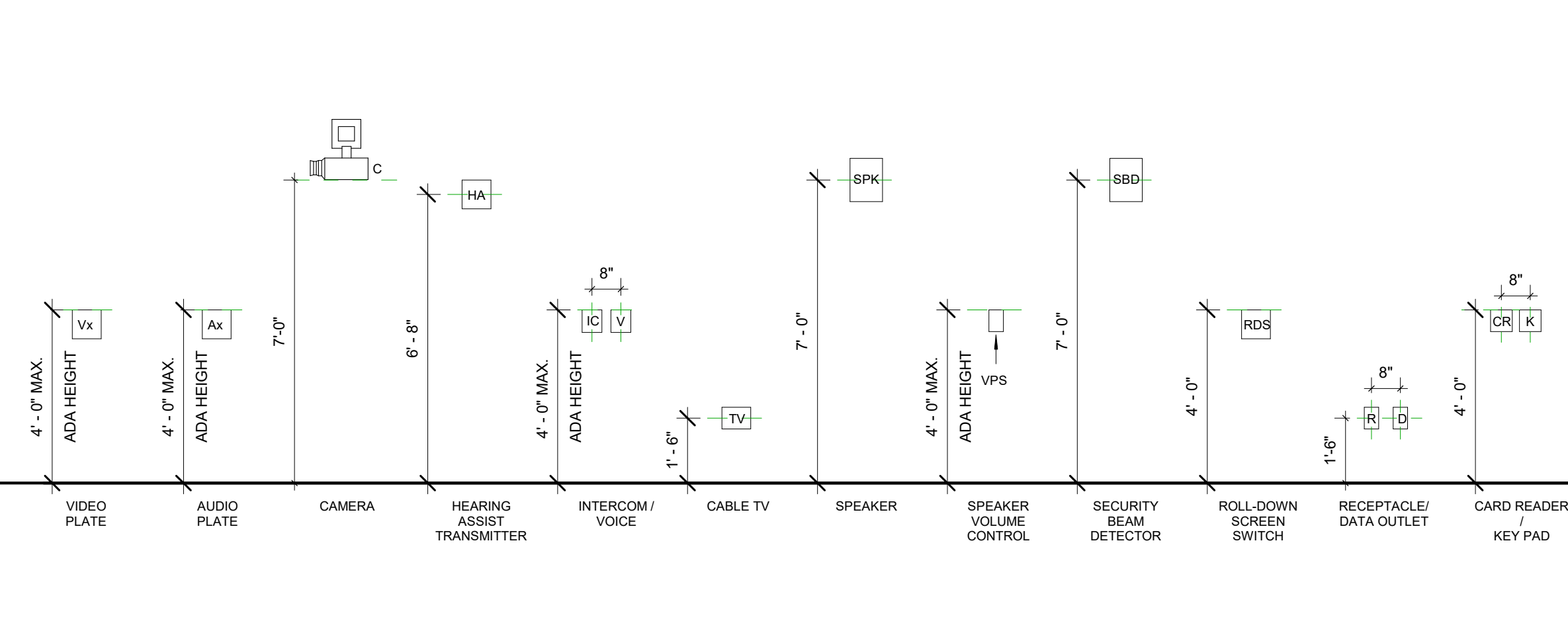
ELECTRICAL & LIFE SAFETY:



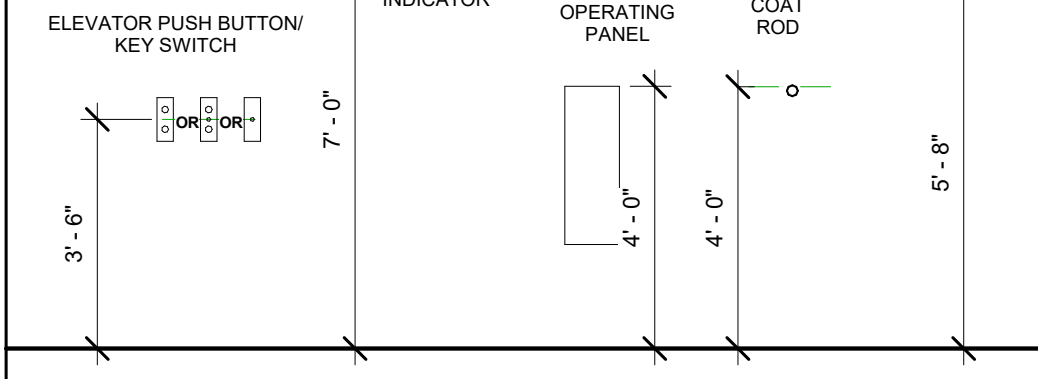
BATH / DRESSING ROOM:



AV/ SECURITY:



MISC:



SIGNATURES

CHAIRMAN	SECRETARY	ENGINEER

CLIENT:
OWNER : 1012
MAIN REALTY LLC,
PO BOX 651,
HOLMDEL , NJ
07733
TENANT:
BOOSKERDOO
COFFEE AND
BAKING COMPANY
PROJECT:
CHANGE OF USE

TAX MAP SHEET -
16 (SEE DWG)
COUNTY -
MONMOUTH
BOROUGH OF
BELMAR
ADDRESS
1012 MAIN STREET
BELMAR,
NJ 07719

REVISIONS:

DRAWN BY: NK
CHECKED BY: GR

SEAL:

GREGORY RALPH
ARCHITECT
LICENSE: 18862
1924 RT 22 E
BOUND BROOK, NJ 08805
TEL: 908 731 1626
GREG@GRALPHARCHITECT.COM

MOUNTING HEIGHTS

SHEET: **A-7**
DATE: **02.09.2021**
SCALE: **3/8" = 1'-0"**