



1012 MAIN STREET
BELMAR , NJ 07719

GENERAL NOTES

1. THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE NJ UNIFORM CONSTRUCTION CODE, INTERNATIONAL BUILDING CODE/2015. THE WORK OF ALL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE ABOVE MENTIONED CODES. DEVIATIONS FROM THE WORK SHOWN, OR REASONABLY IMPLIED, SHALL NOT BE UNDERTAKEN WITHOUT THE ARCHITECT'S WRITTEN CONSENT. A COPY OF WHICH SHALL BE FILED WITH THE CONSTRUCTION OFFICIAL.
2. DATA ON EXISTING CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY OR CONTINUITY OF AS BUILT CONDITIONS. DATA IS DERIVED FROM FIELD SURVEY AND IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. IF CONDITIONS ARE NOT AS ANTICIPATED OR INDICATED, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION AND/OR INSTRUCTION BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY CONDITIONS IN FIELD.
3. DRAWINGS SHALL NOT BE USED FOR ISSUANCE OF A BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ARCHITECT. THE CONTRACTOR SHALL OBTAIN PERMITS AND PAY FOR SAME.
4. CONTRACTOR SHALL VERIFY ALL PERTINENT CONDITIONS, DIMENSIONS AND ELEVATIONS AND REPORT DISCREPANCIES IF ANY. TO THE ARCHITECT FOR RESOLUTION AND ADJUSTMENT DO NOT SCALE DRAWINGS. CONSULT ARCHITECT FOR ANSWERS TO ALL DIMENSIONAL QUESTIONS. ALL PLAN DIMENSIONS ARE NOMINAL AND ARE TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
5. THE WORK OF ALL TRADES, AS SHOWN OR AS SPECIFIED, SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INCLUDE IN THE WORK, WITHOUT ADDITIONAL COST TO OWNER, ALL LABOR, MATERIALS, SERVICES (INCLUDING TEMPORARY SERVICES AND UTILITIES), APPARATUS DRAWINGS, ETC. IN ORDER TO COMPLY WITH ALL APPLICABLE LAWS, CODES, ORDINANCES, RULES AND REGULATIONS. WHETHER OR NOT SHOWN ON DRAWINGS AND/OR SPECIFIED. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, AND PAY ALL TAXES, FEES AND OTHER COSTS RELATING TO THIS WORK.
6. PERFORM ALL CUTTING AND PATCHING BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK, INCLUDING EXISTING CONDITIONS, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OR REPAIR, AS INDICATED, AND NEW WORK. PERFORM FITTING AND ADJUSTMENT OF ALL WORK TO PROVIDE A FINISHED INSTALLATION, REPAIR/REPLACE EXISTING-TO-REMAIN SURFACES DAMAGED AS A RESULT OF THE NEW WORK.
7. DURING THE HANDLING AND INSTALLATION OF WORK AT THE PROJECT SITE, CLEAN AND PROTECT WORK IN PROGRESS AND ADJOINING WORK ON A BASIS OF PERPETUAL MAINTENANCE. APPLY SUITABLE PROTECTIVE COVERINGS ON NEWLY INSTALLED WORK WHERE REASONABLY REQUIRED TO ENSURE FREEDOM FROM DAMAGE OR DETERIORATION AT THE TIME OF SUBSTANTIAL COMPLETION. CLEAN AND MAINTAIN NEWLY INSTALLED WORK AS FREQUENTLY AS NECESSARY THROUGH THE CONSTRUCTION PERIOD. DO NOT ALLOW ACCUMULATION OF WASTE MATERIAL, SCRAP OR OTHER DEBRIS NOT REQUIRED FOR CONSTRUCTION OF THIS WORK.
8. THE CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE MADE OUT IN THE NAME OF THE OWNER PRIOR TO COMMENCEMENT OF THE WORK. EACH CONTRACTOR SHALL CARRY PUBLIC LIABILITY, PROPERTY DAMAGE AND FIRE INSURANCE WITH EXTENDED COVERAGE.
9. THE CONTRACT IS BASED UPON MATERIAL, EQUIPMENT AND METHOD INDICATED IN THE CONTRACT DOCUMENTS. THE ARCHITECT WILL CONSIDER PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT AND METHODS ONLY WHEN ACCOMPANIED BY FULL TECHNICAL DATA, INCLUDING AVAILABILITY, AND OTHER INFORMATION THAT MAY BE REQUIRED BY THE ARCHITECT TO EVALUATE THE PROPOSED SUBSTITUTION. SUBSTITUTION FOR THIS WORK IS NOT PERMITTED UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT.
10. THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE AND PREMISES OF WORK PRIOR TO SUBMITTING A BID, AND INFORMED HIMSELF AS TO EXISTING AND ANTICIPATED CONDITIONS. THE CONTRACTOR WARRANTS THAT HE HAS FAMILIARIZED HIMSELF WITH THE DRAWINGS AND SPECIFICATIONS, AND CURRENT MARKET CONDITIONS, AND THAT HE WILL FULFILL THE OWNERS DESIGN INTENT, WITHOUT RESERVATION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF HIS WORK.
11. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED AT THE REFERENCED SITE ONLY.
12. ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURE'S SPECIFICATION.
13. CONTRACTOR SHALL COMPLY WITH O.S.H.A. REQUIREMENTS DURING THE ENTIRE CONSTRUCTION PROCESS.
14. CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT THE ARCHITECT FOR ANY CLARIFICATION DRAWINGS OR INFORMATION NEEDED, 2 WEEKS PRIOR TO CONSTRUCTION OR ORDERING MATERIALS OF THE SAME.
15. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE IDENTIFICATION OR REMOVAL OF ASBESTOS, TOXIC WASTE, HAZARDOUS MATERIALS OR GASES OF ANY KIND.
16. THE CONTRACTOR SHALL OBTAIN UTILITY COMPANY PERMITS AS REQUIRED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
17. PROVIDE ALL NECESSARY FIRE PROTECTION AND VENTILATION FOR ALL H.V.A.C. EQUIPMENT, APPLIANCES, ETC.
18. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT WORK IN ACCORDANCE WITH THE DRAWINGS OR REQUIRED CODES.

PROJECT INFO., OCCUPANCY & EGRESS

EGRESS INFORMATION

EGRESS CAPACITIES DESIGNED TO CONFORM WITH THE IBC 2018

PROPOSED TENANT SPACE CALCULATED OCCUPANT LOAD = 47
PROPOSED MINIMUM EGRESS WIDTH = $(0.2') \times (86) = 9.4'$
MINIMUM DOOR WIDTH PER 1008.1 = 32"
PROPOSED EGRESS WIDTH PROVIDED EACH = 36", 36", 36"
TOTAL EGRESS WIDTH PROVIDED = 108"

BUILDING CHARACTERISTICS

OCCUPANCY CLASSIFICATION -
CONSTRUCTION CLASSIFICATION - TYPE IIB

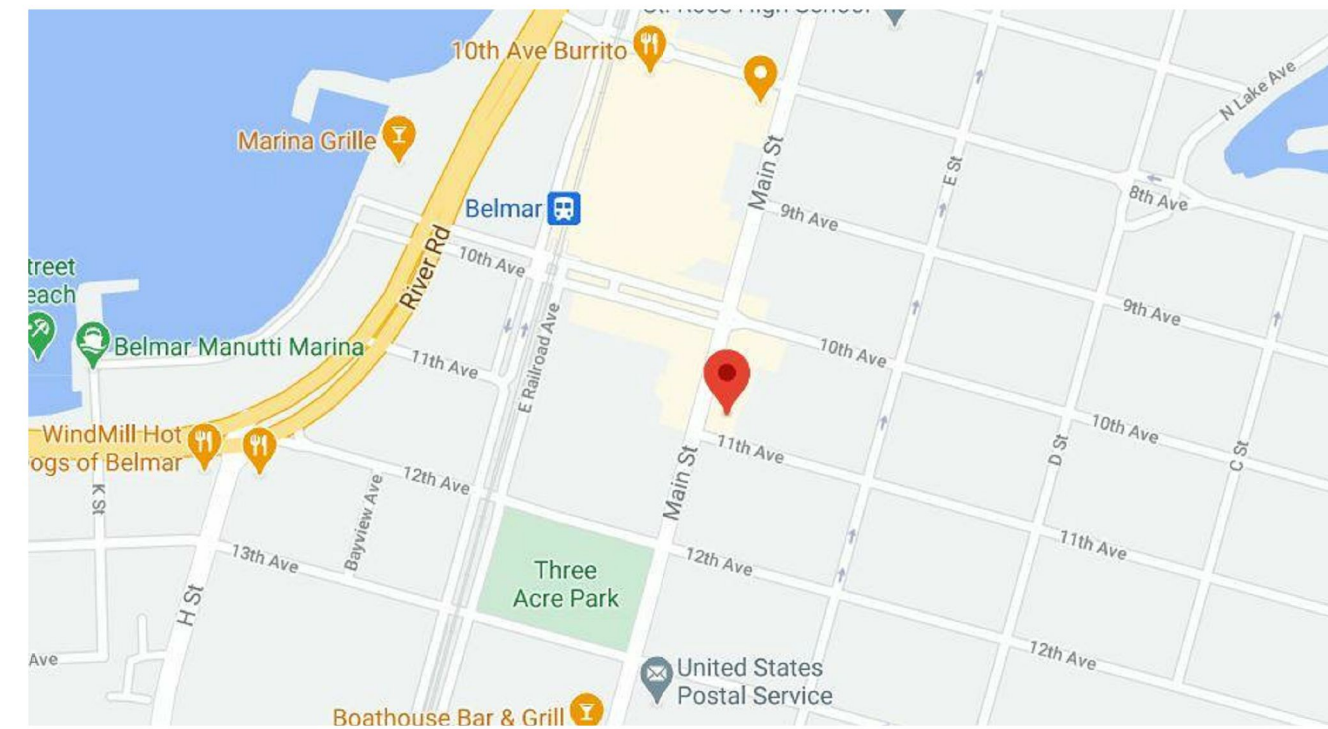
ZONING

CLASSIFIED AS B
PERMITTED USE INCLUDES RESTAURANT
EXISTING USE RESTAURANT
PROPOSED USE RESTAURANT
PER SCHEDULE 40-5-2B
SCHEDULE OF USES, COMMERCIAL DISTRICTS
BOROUGH OF BELMAR
(SUBSECTION 40-5.1)

BUILDING CODES

CODES AS ADOPTED BY NJAC 5.23
INTERNATIONAL BUILDING CODE 2018 NJ EDITION
NATIONAL STANDARD PLUMBING CODE: 2018 NATIONAL ELECTRICAL CODE, (NFPA 70)/2017
NATIONAL ELECTRICAL CODE, (NFPA 70)/2017
INTERNATIONAL ENERGY CONSERVATION CODE - NJ ED. 2018
ASHRAE 90.1-2018
INTERNATIONAL MECHANICAL CODE, 2018
INTERNATIONAL FUEL GAS CODE, 2018
OTHER REFERENCED I-CODES (IFC/2018, IS/2018, ETC.)
OTHER REFERENCED ICC STANDARDS (ICC/ANSI A117.1-2009; ICC 300-2017; ETC.)
BARRIER FREE SUBCODE ICC/ANSI A117.1-2009

AERIAL MAP



PROJECT INFORMATION

PROPOSED OCCUPANCY TABLE

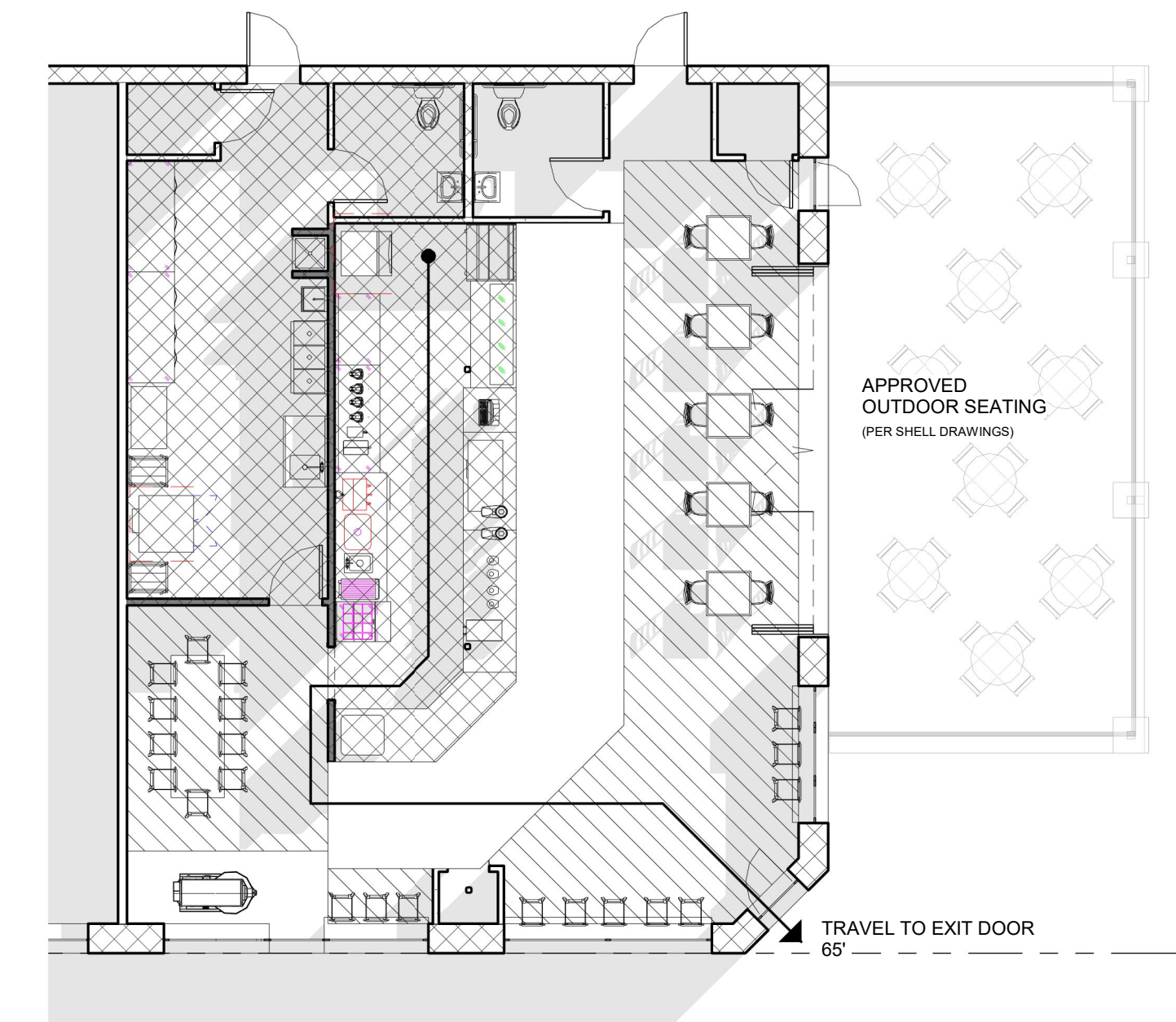
CLASSIFICATION	DIAGRAM PATTERN	FLOOR AREA	SF / OCCUPANT	CALCULATED OCCUPANCY
COMMERCIAL KITCHEN		707.94 SF	200 SF (GROSS)	4
ASSEMBLY AREA WITHOUT FIXED SEATS		641.11 SF	15 SF (GROSS)	43
TOTAL CALCULATED OCCUPANCY				47
OCCUPANCY LOAD NOTES: OCCUPANCY LOADS CALCULATED WITH IBC 2018 CRITERIA PER TABLE 1004.1.2 DESIGN CAPACITIES 1. OCCUPANCY TREATED SIMILAR TO INSTITUTIONAL OUTPATIENT OCCUPANCY SIMULTANEOUS OCCUPANTS WILL BE LIMITED BY THE NATURE OF THE BUSINESS.				

SPACE CHARACTERISTICS

OCCUPANCY GROUP	B (NOTE 1)
OCCUPANCY LOAD	47
FIRE PROTECTION	NOT SPRINKLERED
FIRST FLOOR AREA (NET LEASEABLE)	1982.23 SF
TOTAL AREA	1982.23 SF
TENANT VOLUME	23,786.76 CF

SPACE CHARACTERISTIC NOTES:
1. PROPOSED TENANT SPACE USE CLASSIFIED AS 'B' PER IBC 302 AND 303.1.1
2. REFER TO OCCUPANCY TABLE THIS SHEET

PROPOSED LAYOUT



② FIRST FLOOR EGRESS
1/8" = 1'-0"

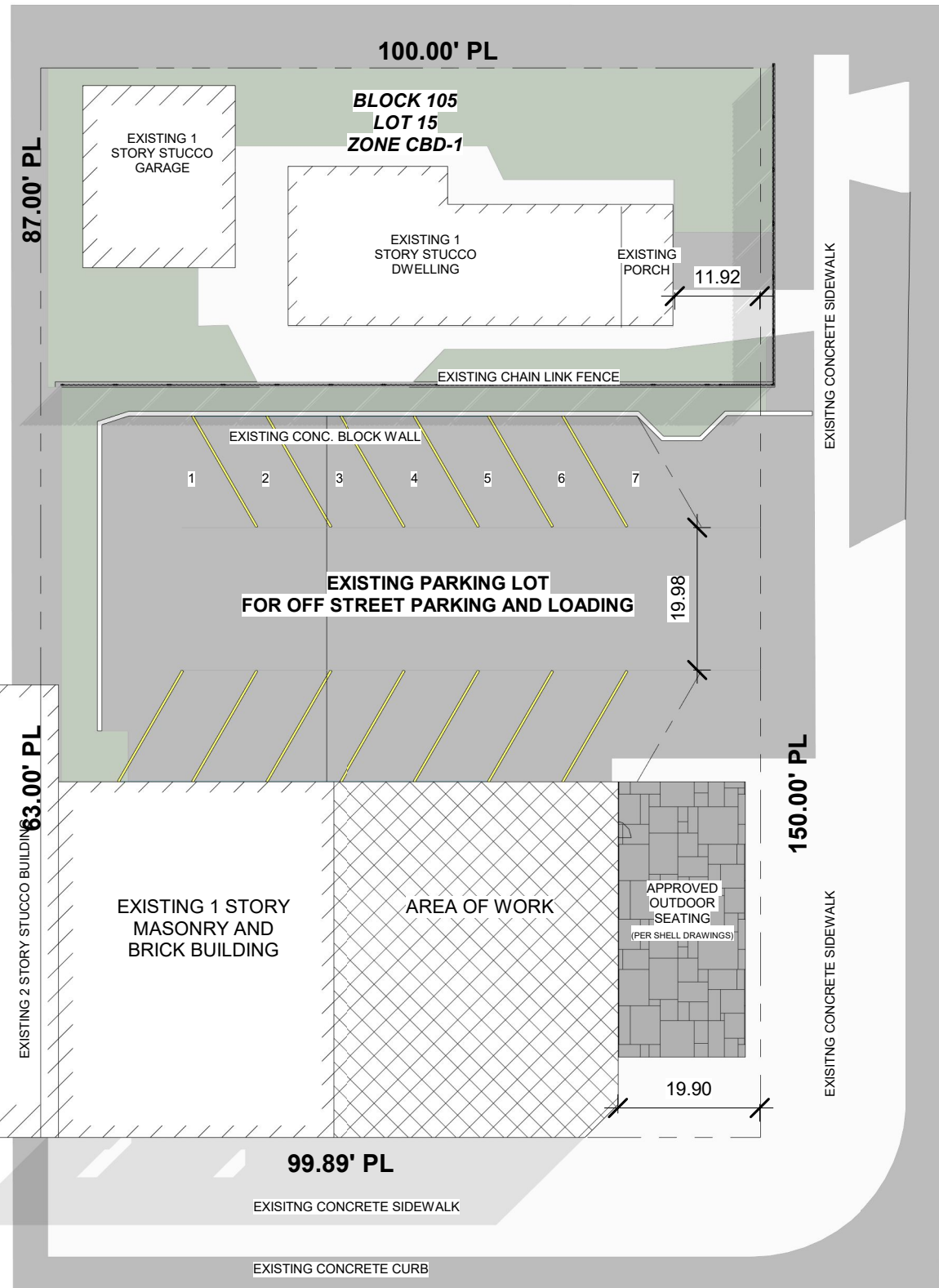
PARKING

ZONE: CBD -1 BLOCK: 105 LOT:15

OFF STREET PARKING PROVIDED IN ADJACENT PARKING LOT INDICATED IN SITE PLAN

Schedule 40-5-2B

Schedule of Uses, Commercial Districts, Continued
Borough of Belmar
(Subsection 40-5.1)
Off-street parking and loading shall be required as an accessory use in all zone districts except the CBD-1 zone. Within the CBD-1 zone, off-street parking shall be provided in public or shared use parking lots. New development in the CBD-1 zone shall be required to demonstrate that, under a shared parking approach, adequate parking is available in a public or shared parking lot. New development in the CBD-1 zone shall also demonstrate that off-street loading can be provided in a common area or on site.



① SITE PLAN
1" = 20'-0"

SITE PLAN PREPARED PER DRAWING RECEIVED FROM STEVEN R. SAVINO R.A.
12 MACFARLENE CIRCLE, MONROE, NJ, 08831

ABBREVIATIONS

#	POUND OR NUMBER	HVAC	HEATING, VENTILATING, AND AIR
&	AND	COND	CONDITIONING
@	AT	IRCBW	IMPACT RESISTANT GYPSUM
ACT	ACOUSTIC CEILING TILE	WALL BOARD	
AD	AREA DRAIN	ILO	IN LIEU OF
AFF	ABOVE FINISHED FLOOR	INSUL	INSULATED OR INSULATION
BYND	BEYOND	INT	INTERIOR
BOT	BOTTOM	LO	LOW
CIP	CAST IN PLACE	MAX	MAXIMUM
CHNL	CHANNEL	MO	MASONRY OPENING
CJ	CONTROL JOINT	MECH	MECHANICAL
CLG	CEILING	MEMBR	MEMBRANE
CLR	CLEAR	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MKGWB	MOISTURE-RESISTANT GYPSUM
COL	COLUMN	WALL BOARD	
COMPR	COMPRESSIBLE	MTL	METAL
CONC	CONCRETE	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	NO	NUMBER
CPT	CARPET	NOM	NOMINAL
CT	CERAMIC TILE	OC	ON CENTER
DBL	DOUBLE	OH	OPPOSITE HAND
DEMO	DEMOLISH OR DEMOLITION	OZ	OUNCE
DIA	DIAMETER	PLUMB	PLUMBING
DIM	DIMENSION	PLYD	PLYWOOD
DIMS	DIMENSIONS	PT	PRESSURE TREATED
DN	DOWN	PNT	PAINT OR PAINTED
DR	DOOR	PVC	POLYVINYL CHLORIDE
DWG	DRAWING	RBR	RUBBER
EA	EACH	RCP	REFLECTED CEILING PLAN
EJ	EXPANSION JOINT	RD	ROOF DRAIN
EL	ELEVATION	REDD	REQUIRED
ELEC	ELECTRICAL	RM	ROOM
ELEV	ELEVATOR OR ELEVATION	SIM	SIMILAR
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	SPEC	SPECIFIED OR SPECIFICATION
EQ	EQUAL	SPK	SPRINKLER OR SPEAKER
EXIST	EXISTING	SSTL	STAINLESS STEEL
EXP JT	EXPANSION JOINT	STC	SOUND TRANSMISSION
EXT	EXTERIOR	COEFFICIENT	
FD	FLOOR DRAIN OR FIRE DEPARTMENT	STL	STEEL
FEC	FIRE EXTINGUISHER CABINET	STRUC	STRUCTURE OR STRUCTURAL
FIXT	FIXTURE	T&G	TONGUE AND GROOVE
FLR	FLOOR	TELE	TELEPHONE
FM	FILLED METAL	TLT	TOILET
FO	FACE OF	TO	TOP OF
FND	FOUNDATION	TOC	TOP OF CONCRETE
GA	GAUGE	TOS	TOP OF STEEL
GALV	GALVANIZED	TPD	TOILET PAPER DISPENSER
GWB	GYPSUM WALL BOARD	TD	TELEPHONE/DATE
HC	HOLLOW CORE	TYP	TYPICAL
HI	HIGH	UNO	UNLESS NOTED OTHERWISE
HM	HOLLOW METAL	US	UNDERSIDE
HP	HIGH POINT	VIF	VERIFY IN FIELD
HR	HOUR	W/	WITH
		WD	WOOD

CLIENT:
BOOSKERDOO
COFFEE & BAKING

PROJECT:
BOOSKERDOO

1012 MAIN STREET
BELMAR,
NJ 07719

REVISIONS:

DRAWN BY: AUTHOR

CHECKED BY: CHECKER

SEAL:

GREGORY RALPH
ARCHITECT
LICENSE: 18862
1924 RT 22 E
BOUND BROOK, NJ 08805
TEL: 908 731 1626
GREG@GRALPHARCHITECT.COM

GENERAL NOTES AND ZONING

SHEET: A-1

DATE: 11.11.2020

SCALE: AS INDICATED